

Effective March 16, 2020, Governor Gregg Abbott authorized the temporary suspension of certain statutory provisions of the Texas Open Meetings Act. This Meeting of the Planning and Zoning Commission of the City of Midland is being held pursuant to such authorization and will limit face-to-face interactions for the purpose of slowing the spread of the Corona Virus (COVID19).

AGENDA FOR PLANNING AND ZONING
COMMISSION
April 20, 2020 – 3:30 PM
City Hall

Notice is hereby given that a public meeting will be held by the Planning and Zoning Commission of the City of Midland, in the Council Chamber, City Hall, 300 N. Loraine, Midland, Texas, and via videoconference using the following information:

Videoconference Information

Join Zoom Meeting: <https://zoom.us/j/5025640077>
Meeting ID: 502 564 0077

One tap mobile:
+13462487799,,5025640077#
+16699006833,,5025640077#

Dial any of the following numbers:

- +1 346 248 7799
- +1 669 900 6833
- +1 929 436 2866
- +1 253 215 8782
- +1 301 715 8592
- +1 312 626 6799

Meeting ID: 502 564 0077

Find your local number: <https://zoom.us/u/adEOeT8q0P>

Public comment will be allowed in person, via the above conference call number above, or in the “Chat” function in the video conference option.

The Planning and Zoning Commission of the City of Midland shall meet at or following the above-specified time to consider the following:

Opening Item

1. Pledge of Allegiance

Announcements

Public Comment

2. Receive comments from members of the public who desire to address the Planning and Zoning Commission regarding items on the present agenda for which public hearings will not be held. (Please limit comments to three minutes or less.)

Consent Items

3. Consider a motion approving the following minutes:
 - a. Planning & Zoning Commission Meeting Minutes for April 6, 2020.
4. Consider a proposed Final Plat of Lone Star Trails II, Section 3, being a plat of a 29.42-acre tract of land located in Section 7, Block 38, T-1-S, T&P RR. Co. Survey, City and County of Midland Texas. (Generally located east of the intersection of Husk Street and Outlaw Court. Council District 1)
5. Consider a proposed Final Plat of Midland International Airport Industrial Park, Section 8, being a 21.156-acre replat of a 0.03-acre portion of Lot 1A, Block 1; a 0.03-acre portion of Lot 1A, Block 2; a 0.13-acre portion of Lot 2A, Block 2; and a 21.12-acre portion of Lot 1A, Block 13, including a Utility Easement, Railroad Spur, and Earhart Drive right-of-way, all out of Midland International Airport Industrial Park Addition, City and County of Midland, Texas. (Generally located on the east side of La Force Boulevard, approximately 1,148-feet south of Windecker Street. Council District 1)
6. Consider a reinstatement of an approved Preliminary Plat of Midland International Airport Industrial Park, Section 8, being a replat of Lot 1A and Lots 2 through 5, Block 1; Lots 1A and 2A, Block 2; a 23.21-acre portion of Lot 1A, Block 13; a 1.10-acre portion of Earhart street right-of-way adjacent to Lots 1A and 2A, Block 2; plus a 1.64-acre Utility Easement and Railroad Spur, Midland International Airport Industrial Park Addition; and a 13.04-acre tract of land out of Section 8, Block 40, T-2-S, T&P Railroad Company Survey; all located in the City and County of Midland, Texas. (Generally located northeast of the intersection of La Force Boulevard and W. State Highway 80. Council District 1).

Public Hearings

7. Hold a public hearing and consider a request by Patrick Brown for a zone change from AE, Agricultural Estate District, to PD, Planned Development District for a Housing Development on Lots 2 and 3, Block 1, Jaden Kate Addition, City and County of Midland, Texas. (Generally located on the northwest corner of the intersection of N. Elkins Road and Arapahoe Road. Council District 1)
8. Hold a public hearing and consider a request by Maverick Engineering for a zone change from PD, Planned District for an Office Center to PD, Planned Development District for a Housing Development on Lot 2A, Block 1, Corporate Plaza, Section 20, City and County of

Midland, Texas. (Generally located on the north side of Corporate Drive, approximately 550-feet east of North Big Spring. Council District 2)

9. Hold a public hearing and consider a request by Jose Ramos for a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 12, Block 30, Moody Addition, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of S. Carver Street and E. Wall Street. Council District 2)

Miscellaneous

Cristina Odenborg Burns
Planning Division Manager
Department of Development Services

The City of Midland Planning and Zoning Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Planning Division at 432-685-7400 or write to us at P.O. Box 1152, Midland, Texas 79702, at least 48 hours in advance of the meeting.

PLANNING AND ZONING MINUTES

April 06, 2020

3:30 p.m.

The Planning and Zoning Commission convened in regular session in the Midland City Hall Council Chamber, 300 North Loraine, Midland, Texas, on, April 06, 2020.

Commissioners present: Josh Sparks, Chase Gardaphe, Reggie Lawrence, and Karmen Bryant.

Alternate Commissioners present: Lucy Sisniega.

Commissioners absent: Kevin Wilton, Warren Ivey, and Diane Williams.

Staff members present: Development Services Director Chuck Harrington, Planning Division Manager Cristina Odenborg Burns, Senior Planner Elizabeth Shaughnessy, Planner Glenda Arroyo-Cruz, Planner Joseph Marynak, Planner Eric Myers, and Administrative Clerk Dalia Salinas.

Chairman Sparks called the meeting to order at 3:31 p.m.

The Planning and Zoning Commission meeting will convene at 3:30 p.m. on April 6, 2020, in Council Chambers, City Hall, 300 N. Loraine Street, Midland, Texas, and via videoconference.

Join Zoom Meeting: <https://zoom.us/j/5025640077>

Meeting ID: 502 564 0077

One tap mobile:

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+1 312 626 6799 US (Chicago)

Meeting ID: 502 564 0077

Find your local number: <https://zoom.us/u/adEOeT8q0P>

Public comment will be allowed in person or via the above conference call number above or in the “Chat” function in the video conference option.

Opening Item

1. Pledge of Allegiance

Announcements

Public Comment

2. Receive comments from members of the public who desire to address the Planning and Zoning Commission regarding items on the present agenda for which public hearings will not be held. (Please limit comments to three minutes or less.)

With no one wishing to speak, the public comment was opened and closed at 3:33 p.m.

Consent Items

Commissioner Gardaphe moved to approve Consent Agenda items 3 through 15; seconded by Commissioner Lawrence.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

3. Approved a motion approving the following minutes:
 - a. Planning & Zoning Commission Meeting Minutes for March 16, 2020.
4. Approved a proposed Final Plat of College Heights Addition, Section 7, being a residential re-plat of Lots 8 and 9, Block 27, College Heights, City and County of Midland, Texas. (Generally located on the north side of W. Washington Avenue, approximately 87 – feet east of Carlton Street. Council District 3)
5. Approved a proposed Final Plat of Freeland Addition, Section 12, being a plat of a 1.986-acre tract of land located in Section 33 and Section 40, Block 38, T-1-S, T&P. RR. Co. Survey, City and County of Midland, Texas. (Generally located on the east side of North Elkins Road, approximately 155-feet north of East County Road 81. Council District 2)
6. Approved a proposed Final Plat of Green Hill Terrace, Section 17, being a residential re-plat of Lots 12 and 13, Block 2, Green Hill Terrace, and a previously vacated 0.15-acre portion of public access easement adjacent to said lot, City and County of Midland, Texas. (Generally located on the west side of Tattenham Corner, approximately 613 – feet west of Keenland Drive. Council District 1)
7. Approved a proposed Final Plat of JAM Addition, being a plat of a 2.03-acre tract of land located in Section 41, Block 38, T-1-S, T&P. RR. Co. Survey, Midland County, Texas. (Generally located on the west side of North County Road 1151, approximately 109-feet south of East County Road 85. Extraterritorial Jurisdiction)
8. Approved a proposed Final Plat of Orchid Alli, being a plat of a 5-acre tract of land located in the north part of the C.A. Miller Survey, Abstract Number 633, Block 38, T-2-S, Midland County, Texas. (Generally located on the south side of East County Road 130, approximately 2,188-feet east of Farm to Market 1213. Extraterritorial Jurisdiction)
9. Approved a proposed Final Plat of Sixtywest Ranch Estates, Section 2 being a re-plat of Lot 15, Sixtywest Ranch Estates, Midland County, Texas. (Generally located on the southeast corner of the intersection of North County Road 1283 and West County Road 60. Extraterritorial Jurisdiction)
10. Approved a proposed Preliminary Plat of Dyno Addition, being a 2-acre tract of land located in the west part of the S/3 of Section 47, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the north side of FM 307, approximately 805-feet east of S. County Road 1130. Extraterritorial Jurisdiction)
11. Approved a proposed Final Plat of East Midland Addition, Section 21, being a residential replat of the south half of Block 55, and a previously vacated 0.128-acre portion of N. Adams Street right-of-way adjacent to said property, all out of East Midland Addition, City and County of Midland, TX. (Generally located on the northwest corner of the intersection of Garden LN and N. Jackson St. Council District 2)
12. Approved a proposed Preliminary Plat of Greenwood Retail Addition, being a plat of a 4-acre tract of land located in the west part of the S/3 of Section 47, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the east side of S. County Road 1130, approximately 422-feet north of Farm to Market Road 307. Extraterritorial Jurisdiction)
13. Approved a proposed Preliminary Plat of Empire Heights, Section 3, being a plat of a 6.005-acre tract of land located in Section 47, Block 38, T-1-S, T&P. RR. Co. Survey, Midland County, Texas. (Generally located on the south side of East County Road 94, approximately 230-feet west of South County Road 1123. Extraterritorial Jurisdiction)
14. Approved a proposed Final Plat of W.C. Barber Addition Section 3, being a plat of a 0.814-acre tract of land and a 0.06-acre portion of previously vacated alley right-of-way, all located in the SE/4 of the NE/4 of Section 26, Block 39, T-1-S, T&P. RR. Co. Survey, City and County of Midland, TX. (Generally located on the southwest corner of intersection of W. Estes Ave. and N. Main St. Council District 2)
15. Approved a proposed Final Plat of Ashlin Place, Section 3, being a re-plat of the south 212 feet of Tract 31, Northwest Acres, City and County of Midland, Texas. (Generally located on the north side of W. Golf Course Road, approximately 466 feet east of Western Drive. Council District 3)

Public Hearings

16. Hold a public hearing and consider a request by Cork & Pig Tavern – Ally Village, LLC, for a Specific Use Designation with Term for the Sale of all Alcoholic Beverages, for on premises consumption in a restaurant, on a

5,460 square foot portion of Lot 2, Block 1, Corporate Plaza, Section 21, City and County of Midland, Texas. (Generally located on the south side of Spring Park Drive, approximately 685-feet east of N. Big Spring Street. Council District 2)

Planner Elizabeth Shaughnessy gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 3:42 p.m.

The applicant, Mr. Buena Ventura, 3778 W. 5th Street, Fort Worth, was present. He gave a summary of the project and was open for question.

The public hearing was closed at 3:43 p.m.

Commissioner Gardaphe moved to approve a request by Cork & Pig Tavern – Ally Village, LLC, for a Specific Use Designation with Term for the Sale of all Alcoholic Beverages, for on premises consumption in a restaurant, on a 5,460 square foot portion of Lot 2, Block 1, Corporate Plaza, Section 21, City and County of Midland, Texas. (Generally located on the south side of Spring Park Drive, approximately 685-feet east of N. Big Spring Street. Council District 2); seconded by Commissioner Sisniega.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

17. Hold a public hearing and consider a Final Plat of Cowden Addition, Section 5, being a residential re-plat of Lot 6, Block 34, Cowden Addition, and Lot 1, Block 34, Cowden Addition, Section 4, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of West Estes Avenue and North Marienfeld Street. Council District 3)

Planner Elizabeth Shaughnessy gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was open at 3:46 p.m.

The applicant was present but deferred to staff.

The public hearing was closed at 3:48 p.m.

Commissioner Lawrence moved to approve a Final Plat of Cowden Addition, Section 5, being a residential re-plat of Lot 6, Block 34, Cowden Addition, and Lot 1, Block 34, Cowden Addition, Section 4, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of West Estes Avenue and North Marienfeld Street. Council District 3); seconded by Commissioner Bryant.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

18. Hold a public hearing and consider a request by Elvira Garcia for a zone change from RR, Regional Retail District, to SF-3, Single-Family Dwelling District, on Lots 13 and 14, Block 145, Southern Addition, City and County of Midland, Texas. (Generally located on the east side of South Baird Street, approximately 110-feet north of East Pennsylvania Avenue. Council District 2)

Planner Glenda Arroyo-Cruz gave an overview of the project. With no letters of objection received, staff recommend approval.

The public hearing was opened at 3:50 p.m.

The applicant was not present.

The public hearing was closed at 3:51 p.m.

Commissioner Bryant moved to approve a request by Elvira Garcia for a zone change from RR, Regional Retail District, to SF-3, Single-Family Dwelling District, on Lots 13 and 14, Block 145, Southern Addition, City and County of Midland, Texas. (Generally located on the east side of South Baird Street, approximately 110-feet north of East Pennsylvania Avenue. Council District 2); seconded by Commissioner Sisniega.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

19. Hold a public hearing and consider a request by Maverick Engineering for a zone change from PD, Planned District for an Office Center to PD, Planned Development District for a Housing Development on Lot 2A, Block 1, Corporate Plaza, Section 20, City and County of Midland, Texas. (Generally located on the north side of Corporate Drive, approximately 550-feet east of North Big Spring. Council District 2)

Planner Glenda Arroyo-Cruz gave an overview of the project. With no letters of objection received, staff recommended approval.

Commissioner Lawrence asked if storage and parking don't meet the minimum requirements according to the new zoning code, would they have been allowed according to the old requirements.

Planning Division Manager Cristina Odenborg Burns confirmed that it would have been allowed within the old code requirements.

Commissioner Gardaphe asked what the procedure would be to ensure that certain percentage of units are going to reserve for senior use.

Planning Division Manager Cristina Odenborg Burns stated that the city currently does not have a procedure to ensure that certain units be set aside for seniors.

Commissioner Gardaphe asked if it could be a loophole for them to say that the units are for senior in order to limit their parking requirements.

Planning Division Manager Cristina Odenborg Burns stated that an application for housing credits has been applied for, but the city does not have any way to monitor it.

The commissioners discussed the issues with the storage shortage and lack of parking and also the possibilities that the units reserved for seniors wouldn't be used for seniors.

The public hearing was opened at 4:07 p.m.

The applicant was not present.

The public hearing was closed at 4:08 p.m.

Commissioner Lawrence suggested it would be in everyone's best interest to defer to the next meeting so that the applicant can be present for further questioning.

Commissioner Lawrence moved to defer a request by Maverick Engineering for a zone change from PD, Planned District for an Office Center to PD, Planned Development District for a Housing Development on Lot 2A, Block 1, Corporate Plaza, Section 20, City and County of Midland, Texas. (Generally located on the north side of Corporate Drive, approximately 550-feet east of North Big Spring. Council District 2) to the April 20, 2020 meeting; seconded by Commissioner Gardaphe.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

20. Hold a public hearing and consider a request by Maverick Engineering for a zone change from PD, Planned District for a Housing Development to an amended PD, Planned Development District for a Housing Development on Lots 19 through 31, Block 5; Lots 1 through 16, Block 8; Lots 1 through 9, Block 9; and Lots 1 through 4, Block 10; all out of Quail Ridge Addition, Section 6, Lots 10 through 20, Block 9; Lots 5 through 18, Block 10; and Lots 1 through 14, Block 11; all out of Quail Ridge Addition, Section 7; a 7.432-acre portion of Lot 1, Block 1, Quail Ridge Addition; and a previously vacated 0.004-acre portion of Beachwood Street right-of-way, Quail Ridge Addition, Section 2; City and County of Midland, Texas. (Generally located on the southwest corner of the intersection of Chukar Lane and Beachwood Street. Council District 2)

Planner Glenda Arroyo-Cruz gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 4:18 p.m.

The applicant was not present.

The public hearing was closed at 4:18 p.m.

Commissioner Lawrence moved to approve a request by Maverick Engineering for a zone change from PD, Planned District for a Housing Development to an amended PD, Planned Development District for a Housing Development on Lots 19 through 31, Block 5; Lots 1 through 16, Block 8; Lots 1 through 9, Block 9; and Lots 1 through 4, Block 10; all out of Quail Ridge Addition, Section 6, Lots 10 through 20, Block 9; Lots 5 through 18, Block 10; and Lots 1 through 14, Block 11; all out of Quail Ridge Addition, Section 7; a 7.432-acre portion of Lot 1, Block 1, Quail Ridge Addition; and a previously vacated 0.004-acre portion of Beachwood Street right-of-way, Quail Ridge Addition, Section 2; City and County of Midland, Texas. (Generally located on the southwest corner of the intersection of Chukar Lane and Beachwood Street. Council District 2); seconded by Commissioner Sisniega.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

21. Hold a public hearing and consider a request by Garret Haley for a Specific Use Designation with Term for the sale of all alcoholic beverages for on-premises consumption, in a restaurant, on a 6,166 square foot portion of Lot 2A, Block 1A, Midkiff Plaza Addition, Section 8, City and County of Midland, Texas. (Generally located on the south side of W. 250 Loop North, approximately 1,036-feet east of N. Midkiff Road. Council District 1)

Planner Joseph Marynak gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 4:22 p.m.

The applicant, Garret Haley, was present. He gave a summary of the project and was open for questions. He asked staff if the SUD can only be used for the current tenant or would it be transferable to other future tenants.

Planning Division Manager Cristina Odenborg Burns explained the guidelines for the SUD.

The public hearing was closed at 4:25 p.m.

Commissioner Lawrence moved to approve a request by Garret Haley for a Specific Use Designation with Term for the sale of all alcoholic beverages for on-premises consumption, in a restaurant, on a 6,166 square foot portion of Lot 2A, Block 1A, Midkiff Plaza Addition, Section 8, City and County of Midland, Texas. (Generally located on the south side of W. 250 Loop North, approximately 1,036-feet east of N. Midkiff Road. Council District 1); seconded by Commissioner Sisniega.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

22. Hold a public hearing and consider a request by Midland Platinum, LLC, for a Specific Use Designation with Term for the sale of all alcoholic beverages for on-premises consumption, in a bar, on Lot 2A, Block 3, Westridge Park Addition, Section 10, City and County of Midland, Texas. (Generally located on the west side of Tradewinds Boulevard, approximately 300-feet south of Andrews Highway. Council District 4)

Planner Joseph Marynak gave an overview of the project. With one letter of objection received; staff recommended approval.

The public hearing was opened at 4:29 p.m.

The applicant, Mr. Pedro Villa, was present but deferred to staff.

The public hearing was closed at 4:30 p.m.

Commissioner Lawrence moved to approve a request by Midland Platinum, LLC, for a Specific Use Designation with Term for the sale of all alcoholic beverages for on-premises consumption, in a bar, on Lot 2A, Block 3, Westridge Park Addition, Section 10, City and County of Midland, Texas. (Generally located on the west side of Tradewinds Boulevard, approximately 300-feet south of Andrews Highway. Council District 4); seconded by Commissioner Bryant.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

23. Hold a public hearing and consider a request by Alexandra Brinker for a Specific Use Designation With Term for the sale of all alcoholic beverages, for on-premises consumption, in a restaurant, on a 4,472 square foot portion of Lot 1, Block 8, Polo Park, Section 3, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of N. Garfield Street and Castleford Road. Council District 1)

Planner Eric Myers gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 4:34 p.m.

The applicant was not present.

The public hearing was closed at 4:34 p.m.

Commissioner Gardaphe moved to approve a request by Alexandra Brinker for a Specific Use Designation With Term for the sale of all alcoholic beverages, for on-premises consumption, in a restaurant, on a 4,472 square foot portion of Lot 1, Block 8, Polo Park, Section 3, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of N. Garfield Street and Castleford Road. Council District 1); seconded by Commissioner Sisniega.

After the motions were made, Commissioner Sparks asked if City Council had been allowing serviceable hours on Sundays before 11:00 a.m.

Planning Division Manager Cristina Odenborg Burns said that she doesn't know what this council's recommendation is, but the last council did recommend 11:00 a.m.

Commissioner Gardaphe suggested proceeding with the vote and letting City Council handle any changes needing to be made.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

24. Hold a public hearing and consider a request by Jorge Chavez for a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 14, Block 1, Eastover Addition, City and County of Midland, Texas. (Generally located on the east side of N. Adams Street, approximately 80-feet south of E. Illinois Avenue. Council District 2)

Planner Eric Myers gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 4:40 p.m.

The applicant was not present.

The public hearing was closed at 4:40 p.m.

Commissioner Sisniega moved to approve a request by Jorge Chavez for a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 14, Block 1, Eastover Addition, City and County of Midland, Texas. (Generally located on the east side of N. Adams Street, approximately 80-feet south of E. Illinois Avenue. Council District 2); seconded by Commissioner Lawrence.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

25. Hold a public hearing and consider a request by Midland (King) DTP, LLC, for a zone change from LI, Light Industrial District to C, Commercial District on Lots 3 and 4, Block 2, Overstreet Addition, Section 2, City and County of Midland, Texas. (Generally located on the southwest corner of the intersection of Garden City Highway and King Street. Council District 2)

Planner Eric Myers gave an overview of the project. With no letters of objection received, staff recommended approval.

The public hearing was opened at 4:43 p.m.

Bog Gage with GBT Reality, 9010 Overlook BLVD, Tennessee spoke on behalf of the applicant. He gave a summary of the project and was open for questions.

The public hearing was closed at 4:44 p.m.

Commissioner Gardaphe moved to approve a request by Midland (King) DTP, LLC, for a zone change from LI, Light Industrial District to C, Commercial District on Lots 3 and 4, Block 2, Overstreet Addition, Section 2, City and County of Midland, Texas. (Generally located on the southwest corner of the intersection of Garden City Highway and King Street. Council District 2); seconded by Commissioner Sisniega.

The motion carried by the following vote: AYE: Gardaphe, Sparks, Lawrence, Bryant, and Sisniega. NAY: None. ABSTAIN: None. ABSENT: Wilton, Williams, and Ivey.

Miscellaneous

With no further items or business to come before the Commission, Chairman Sparks adjourned the meeting at 4:45 p.m.

Josh Sparks, Chairman

Date

Cristina Odenborg Burns, Planning Division Manager
Development Services Department

Date



Planning and Zoning Commission

Approved for Agenda:
Cristina Odenborg

MEETING DATE: April 20, 2020

TO: Planning and Zoning Commission

FROM: Taslima Khandaker, Senior Planner

SUBJECT: Consider a proposed Final Plat of Lone Star Trails II, Section 3 being a 29.42-acre tract of land located in Section 7, Block 38, T-1-S, T&P RR. Co. Survey, City and County of Midland Texas. (Generally located east of the intersection of Husk Street and Outlaw Court. Council District 1)

Recommended Planning and Zoning Commission Action:

Approve Deny Direction/Informational

Current Zoning:

SF-3, Single Family Dwelling District.

Preliminary Plat Approval:

The applicant, Betenbough Homes LLC., is requesting to plat a 29.42-acre tract of land out of Section 7, Block 38, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas into 127 residential lots in the proposed Lone Star Trails II, Section 3 subdivision. The Preliminary Plat was approved on the August 5, 2019 Planning and Zoning Commission Meeting and on the August 27, 2019 City Council Meeting.

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificates from both Midland County and the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Code Compliance: (Approved)

No Oil or Gas wells identified within 500 ft. permitted well radius or in the 135 ft. non-permitted well radius of location on plat.

Surveyor: (Approved)

No comments.

Fire: (Approved)

No comments.

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2017 NEC requirements, the 2015 International Fire Codes, local city ordinances, zoning requirements, established setbacks, and floodplain requirements if necessary

Transportation: (Approved with Conditions)

STREET NAME AND TRAFFIC CONTROL SIGN FEE – Estimated fee due at Final Plat submittal = 7 new intersections created at \$500/intersection = \$3,500.

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review.

No objections to plat.

Engineering: (Under Review)

*** Under Review: Utility and Paving Plans approved. No final inspection recorded. Jose is discussing of LOC. ***

ROW: We request 10' x 10' Corner Clip to be dedicated for sight triangle and ADA ramp construction. Also, we need 60' ROW based on local street classification – see Code & Standard Details.

PAVING: No public paving improvements required. Plans approved. No final inspection recorded.

WATER: None existing. Construct to City standards along entire platted frontage, serving all lots with looped system. Water pressure and volume studies are required for all developments over 5 acres, serving 20 residences or more or multi-family sites, per Policy Statement. Plans approved. No final inspection recorded.

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 1, 2019 - Fire hydrants shall

be spaced no more than 400' apart, hydrant top or bonnet shall be color coded per NFPA (less than 500gpm RED, 500-999gpm YELLOW, 1000-1499gpm GREEN, Greater than 1500GPM BLUE) Plans approved. No final inspection recorded.
PRO RATA: "None"

SEWER: None existing. Construct to City standards along entire platted frontage, serving all lots within the subdivision and to adjacent lot lines along exterior roadways. Sewer capacity studies are required for all developments over 5 acres, serving 20 residences or more or multi-family sites, per Policy Statement. Plans approved. No final inspection recorded.

DRAINAGE: Drainage study approved for lot layout. FEMA Firm data to be on plat face.

EASEMENTS: Show existing and proposed.

SIDEWALKS: Sidewalks required on collector/arterial roadways, along common areas and ADA ramps required at corners before public infrastructure is accepted. Plans approved. No final inspection recorded.

DIMENSION: * * *

IMPACT FEES: Provide the following general note on the plat face: Initial Impact Fees will be assessed during the final platting process. Implementation and collection of impact fees will take place during the building permit process. Additional impact fees or increases in fees may not be assessed against the tract unless the number of service units to be developed on the tract increases.

OTHER: All public infrastructure improvements and plat to comply with City of Midland – Engineering Services, Fire Department & Utilities Policy Statement – City Standards & Development Requirements. (Found on-line at: <http://www.midlandtexas.gov/DocumentCenter/View/2625>)

New City standard details can be found on-line at: <http://www.midlandtexas.gov/DocumentCenter/View/4278/City-of-Midland-Standard-Details>.

The following must be noted with regard to this plat and other new developments in the NE area of Midland:

Enprotec/Hibbs & Todd, Inc. has determined through computer modeling that the City of Midland's existing water system cannot support additional service demand in the northeast portion of the system within TCEQ minimum pressure requirements.

Until all other plat requirements are met and on-site pressure testing shows adequate pressure and/or minimum TCEQ requirements are met for the water improvements installed for this subdivision, Engineering Services cannot support approval of the Final Plat. Plans approved. No final inspection recorded.

The City is working diligently to determine short term and long term corrective actions to improve the Northeast portion of the water system and to partner with the area developers in seeking solutions. Under Review.

Planning:

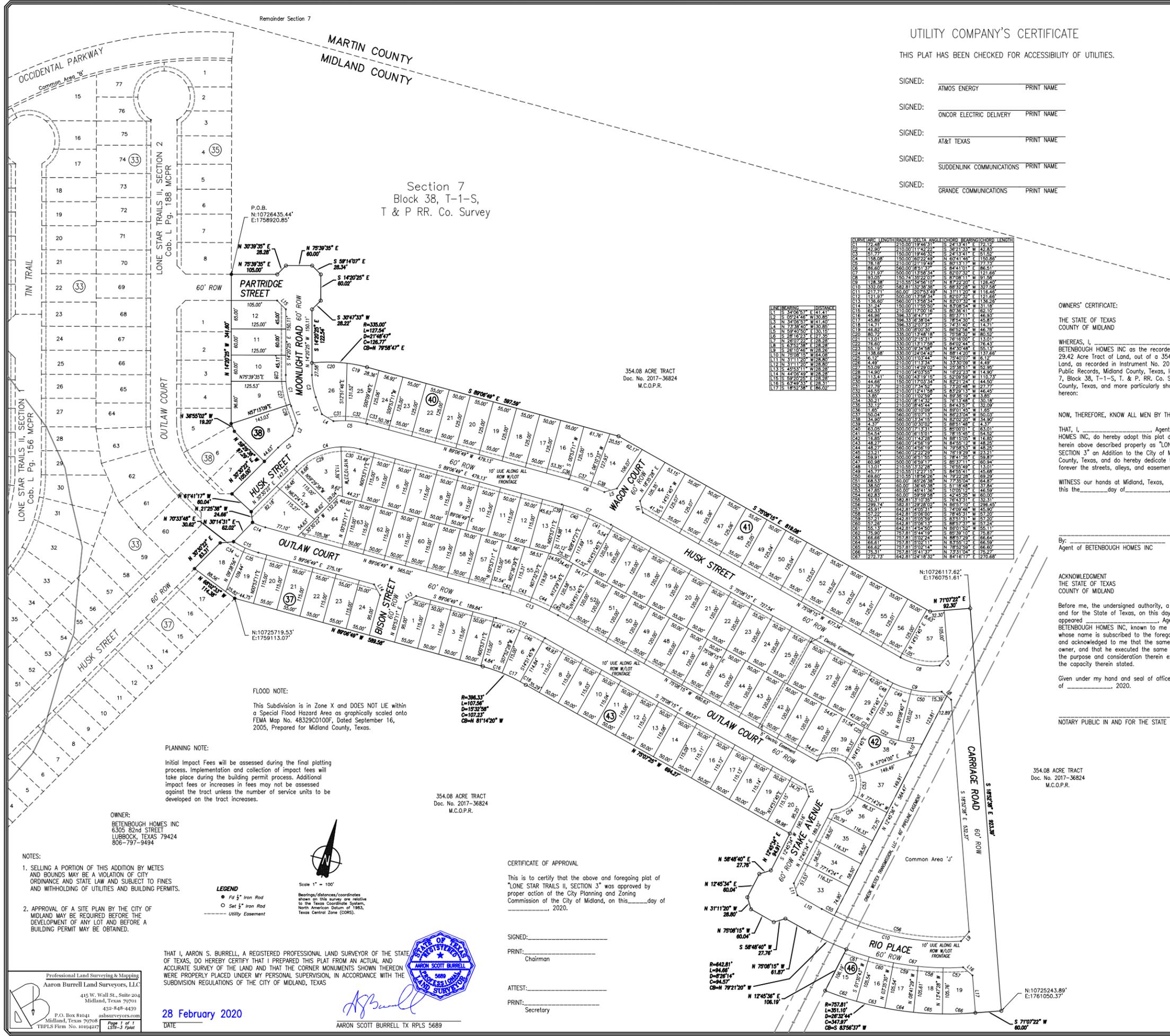
All comments, conditions, and requirements must be satisfied for all pertinent City departments.

Conditions:

- A. All plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filling for recording with the County Clerk of Midland County, Texas.

Attachments:

Proposed Final Plat
Application
Maps



**LONE STAR TRAILS II, SECTION 3
BEING A 29.42 ACRE TRACT OF LAND IN
SECTION 7, BLOCK 38, T-1-S, T. & P. RR. CO. SURVEY,
CITY AND COUNTY OF MIDLAND, TEXAS**

UTILITY COMPANY'S CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.

SIGNED: _____ PRINT NAME _____
 ONCOR ELECTRIC DELIVERY
 SIGNED: _____ PRINT NAME _____
 AT&T TEXAS
 SIGNED: _____ PRINT NAME _____
 SUDDENLINK COMMUNICATIONS
 SIGNED: _____ PRINT NAME _____
 GRANDE COMMUNICATIONS

Legal Description for Lone Star Trails II, Section 3.
 Being a 29.42 Acre Tract of Land out of a 354.08 Acre Tract recorded in Document No. 2017-36824, Official Public Records, located in Section 7, Block 38, T-1-S, T&P RR Co Survey, City of Midland, Midland County, Texas.

Boundary more fully described by metes and bounds as follows:
 Beginning at (N:10726435.44', E:1758920.85') a 1/2" iron rod found in the north right of way line of the end of Partridge Street at the southeast corner of Lot 8, Block 35, Lone Star Trails II, Section 2, being the northwest corner of this tract, whence a 1/2" iron rod found at the southwest corner of said Section 7 bears South 18°30'03" West, a distance of 3097.85 feet;

- Thence through said Section 7 the following twenty-six (26) courses and distances:
1. North 75°39'35" East, a distance of 105.00 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 2. North 30°39'35" East, a distance of 28.28 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 3. North 75°39'35" East, a distance of 60.00 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 4. South 59°14'07" East, a distance of 28.34 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 5. South 14°20'25" East, a distance of 60.02 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 6. South 30°47'33" West, a distance of 28.22 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 7. South 14°20'25" East, a distance of 122.54 feet to a 1/2" iron rod set for a point of curvature in the north line of this tract;
 8. With a curve to the right in a northeasterly direction, said curve having an arc length of 127.54 feet, a radius of 335.00 feet, a delta angle of 21°48'47" and a chord length of 126.77 feet bearing North 79°58'47" East to a 1/2" iron rod set for a point of tangency in the north line of this tract;
 9. South 89°06'49" East, a distance of 597.59 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 10. South 75°08'15" East, a distance of 819.08 feet to a 1/2" iron rod set for a point of deflection in the north line of this tract;
 11. North 71°07'22" East, a distance of 92.30 feet to a 1/2" iron rod set for the northeast corner of this tract;
 12. South 18°52'38" East, a distance of 923.39 feet to a 1/2" iron rod set for the southeast corner of this tract;
 13. South 71°07'22" West, a distance of 60.00 feet to a 1/2" iron rod set for a point of curvature in the south line of this tract;
 14. With a curve to the right in a southwesterly direction, said curve having an arc length of 347.97 feet, a radius of 757.81 feet, a delta angle of 26°32'44" and a chord length of 347.97 feet bearing South 83°56'37" West to a 1/2" iron rod set for a point of tangency in the south line of this tract;
 15. North 12°45'36" East, a distance of 106.19 feet to a 1/2" iron rod set for a point of curvature in the south line of this tract;
 16. With a curve to the right in a northwesterly direction, said curve having an arc length of 94.66 feet, a radius of 642.81 feet, a delta angle of 15°32'58" and a chord length of 94.57 feet bearing North 79°21'20" West to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 17. North 75°08'15" West, a distance of 61.87 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 18. South 58°48'40" West, a distance of 27.76 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 19. North 75°08'15" West, a distance of 60.04 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 20. North 31°11'20" West, a distance of 28.80 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 21. North 12°45'34" East, a distance of 60.04 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 22. North 58°48'40" East, a distance of 27.76 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 23. North 12°45'34" East, a distance of 94.91 feet to a 1/2" iron rod set for a point of deflection in the south line of this tract;
 24. North 75°07'25" West, a distance of 694.27 feet to a 1/2" iron rod set for a point of curvature in the south line of this tract;
 25. With a curve to the left in a northeasterly direction, said curve having an arc length of 107.56 feet, a radius of 396.33 feet, a delta angle of 15°32'58" and a chord length of 107.23 feet bearing North 81°14'20" West to a 1/2" iron rod set for a point of tangency in the south line of this tract;
 26. North 89°06'49" West, a distance of 589.58 feet to a 1/2" iron rod found at the most easterly corner of Lot 17, Block 37, said Lone Star Trails II, Section 2 for a point of deflection in the south line of this tract;

OWNERS' CERTIFICATE:

THE STATE OF TEXAS
 COUNTY OF MIDLAND

WHEREAS, I, _____, Agent of BETENBOUGH HOMES INC as the recorded owner of a 29.42 Acre Tract of Land, out of a 354.08 Acre Tract of Land, as recorded in Instrument No. 2017-36824, Official Public Records, Midland County, Texas, located in Section 7, Block 38, T-1-S, T. & P. RR. Co. Survey, Midland County, Texas, and more particularly shown and described herein:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, I, _____, Agent of BETENBOUGH HOMES INC, do hereby adopt this plat designating the herein above described property as "LONE STAR TRAILS II, SECTION 3" an Addition to the City of Midland, Midland County, Texas, and do hereby dedicate to the public use forever the streets, alleys, and easements shown thereon.

WITNESS our hands at Midland, Texas, this _____ day of _____, 2020.

By: _____
 Agent of BETENBOUGH HOMES INC

**ACKNOWLEDGMENT
 THE STATE OF TEXAS
 COUNTY OF MIDLAND**

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____, Agent of BETENBOUGH HOMES INC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act as owner, and that he executed the same as the act for the purpose and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2020.

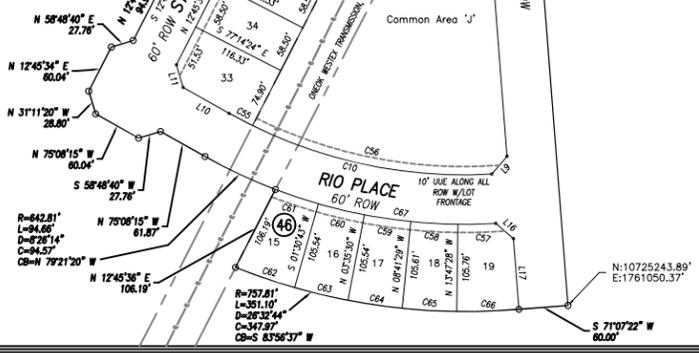
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

354.08 ACRE TRACT
 Doc. No. 2017-36824
 M.C.O.P.R.

CERTIFICATE OF APPROVAL

This is to certify that the above and foregoing plat of "LONE STAR TRAILS II, SECTION 3" was approved by proper action of the City Planning and Zoning Commission of the City of Midland, on this _____ day of _____, 2020.

SIGNED: _____
 PRINT: _____
 Chairman
 ATTEST: _____
 PRINT: _____
 Secretary



FLOOD NOTE:
 This Subdivision is in Zone X and does NOT lie within a Special Flood Hazard Area as graphically scaled onto FEMA Map No. 483290100F, Dated September 16, 2005, Prepared for Midland County, Texas.

PLANNING NOTE:
 Initial Impact Fees will be assessed during the final platting process. Implementation and collection of impact fees will take place during the building permit process. Additional impact fees or increases in fees may not be assessed against the tract unless the number of service units to be developed on the tract increases.

OWNER:
 BETENBOUGH HOMES INC
 6305 82nd STREET
 LUBBOCK, TEXAS 79424
 806-797-9494



LEGEND
 ● Full 1/2" Iron Rod
 ○ Set 1/2" Iron Rod
 --- Utility Easement

Bearings/distances/coordinates shown on this survey are relative to the Texas Coordinate System, North American Datum of 1983, Texas Central Zone (CORS).

- NOTES:**
1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 2. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.

THAT I, AARON S. BURRELL, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MIDLAND, TEXAS



28 February 2020
 DATE _____
 AARON SCOTT BURRELL TX RPLS 5689

Professional Land Surveying & Mapping
 Aaron Burrell Land Surveyors, LLC
 415 W. Wall St., Suite 204
 Midland, Texas 79701
 432-848-4439
 asbsurveyors.com
 Midland, Texas 79708
 TPLS Form No. 10104207
 Page 1 of 1
 LSR-3 Plat

PLAT FILED FOR RECORD
 MIDLAND COUNTY, TEXAS
 NO. _____ CABINET _____
 DATE _____ PAGE _____

**FINAL PLAT
 LONE STAR TRAILS II, SECTION 3**



Final Plat Application

Project Number: _____
Case Number: 19-20-0777

Proposed Subdivision Plat Name: Lone Star Trails II, Section 3

Legal Description (attached sealed Metes and Bounds): _____
A 29.42 Acre Tract of Land in Section 7, Block 38, T-1-S, T. & P. RR. Co. Survey, City and County of Midland, Texas

Property Owner

Printed Name: Betenbough Homes

Phone (806) 789 - 9558

Email Chrisb@betenbough.com

Address 6305 82nd Street

City Lubbock

State Texas

Zip 79424

Developer (if different than Owner)

Printed Name: N/A

Phone ()

Email N/A

Address N/A

City N/A

State N/A

Zip N/A

Representative (if acting as Agent, see affidavit on page 2)

Firm: Betenbough Homes

Printed Name: Chris Berry

Phone (806) 789 - 9558

Email Chrisb@betenbough.com

Address 6305 82nd Street

City Lubbock

State Texas

Zip 79424

Current Zoning: 1F-3

Reason for Platting: Development for Residential, Single Family New Homes

Plat Information

Total Acreage: 29.42

Type: Single-Family Residential

Multi-Family Residential

Commercial

Extraterritorial Jurisdiction (ETJ)

Number of Lots: 127

Number of Multi-Family Dwelling Units: None

Submittal Information: Standard Plats must be submitted at least 20 days and a Residential Replat must be submitted at least 25 days prior to the P&Z Commission meeting at which action is desired, unless Short Form or Administrative Procedure is applicable.

Items to be submitted with this application form:

- 2 FOLDED Copies of Dimensioned Plat
- 1 Signed Mylar (or more if applicant does not request a signed reproduction)
- 1 Extra Copy (11x17)
- Digital Files (JPEG & PDF)
- Original Tax Certificates (Midland Central Appraisal District – MCAD)
- Title Opinion/Policy (dated less than 90 days)
- Application Fee – Payable to the 'City of Midland'
- Recording Fee – Payable to 'Midland County Clerk'

RECEIVED
JAN 16 2020

BY:

Mylar Reproductions

This application authorizes the City to file the approved plat and associated documents with the County Clerk for recording. This application also authorizes the City to reproduce 1 mylar copy of the approved plat at the expense of the engineering firm/applicant for the City's records if needed. (Applicant can submit additional signed mylar instead of reproduction.)

- Applicant would like a reproduction made for their records
- Applicant does not want a reproduction/will make their own

Recording Fee (Payable to 'Midland County Clerk')

For plats 18" to 24" \$61.00
 For plats that exceed 24" \$81.00
 For related documents, \$26.00 for first page, \$4.00 for each additional page.

Signature (by property owner only – authorized agent must sign affidavit below)

Property Owner (signature): <u>Chris Berry</u>	Date: January 16th, 2019
--	--------------------------

Property Owner (printed) : Chris Berry

The Final Plat shall be considered officially received in the Planning office only when it has been submitted in full compliance with the provisions of Section 212 of the Texas Local Government Code and the Subdivision Code of Ordinances of the City of Midland and when such required items for the application are also received.

All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.

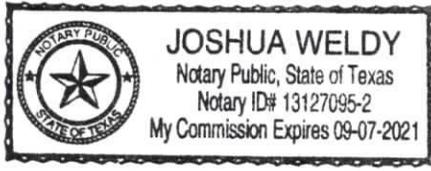
If an agent is authorized by the property owner to file and execute the application on behalf of the property owner, the agent must complete the affidavit below.

STATE OF TEXAS
COUNTY OF MIDLAND

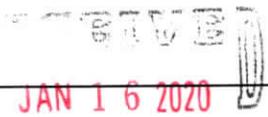
Before me, the undersigned authority, on this day personally appeared Chris Berry who, being by me duly sworn, upon oath says: That (s)he is authorized by Betenbough Homes, the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Chris Berry
 Authorized Agent (signature)

Subscribed and sworn to before me, this 15th day of January, 20 20, to certify which witness my hand and seal of office.



Joshua Weldy
 NOTARY PUBLIC, MIDLAND COUNTY, TEXAS



****Application will not be considered for scheduling until reviewed by a planner.****

FOR OFFICE USE ONLY

- | | | |
|--|--|--|
| <input checked="" type="checkbox"/> Property Owner Authorization | <input checked="" type="checkbox"/> 1 Copy of Dimensioned Plat | <input type="checkbox"/> Plat in Digital Format (PDF/JPEG) |
| <input type="checkbox"/> Mylar | <input checked="" type="checkbox"/> 1 Copy of Plat (11x17) | <input type="checkbox"/> Public Improvements |
| <input checked="" type="checkbox"/> Application Fee | <input checked="" type="checkbox"/> Title Opinion | <input checked="" type="checkbox"/> Recording Fee 0059853 |
| Check # <u>CC</u> | <input checked="" type="checkbox"/> Tax Certificates | Check # RECEIVED |

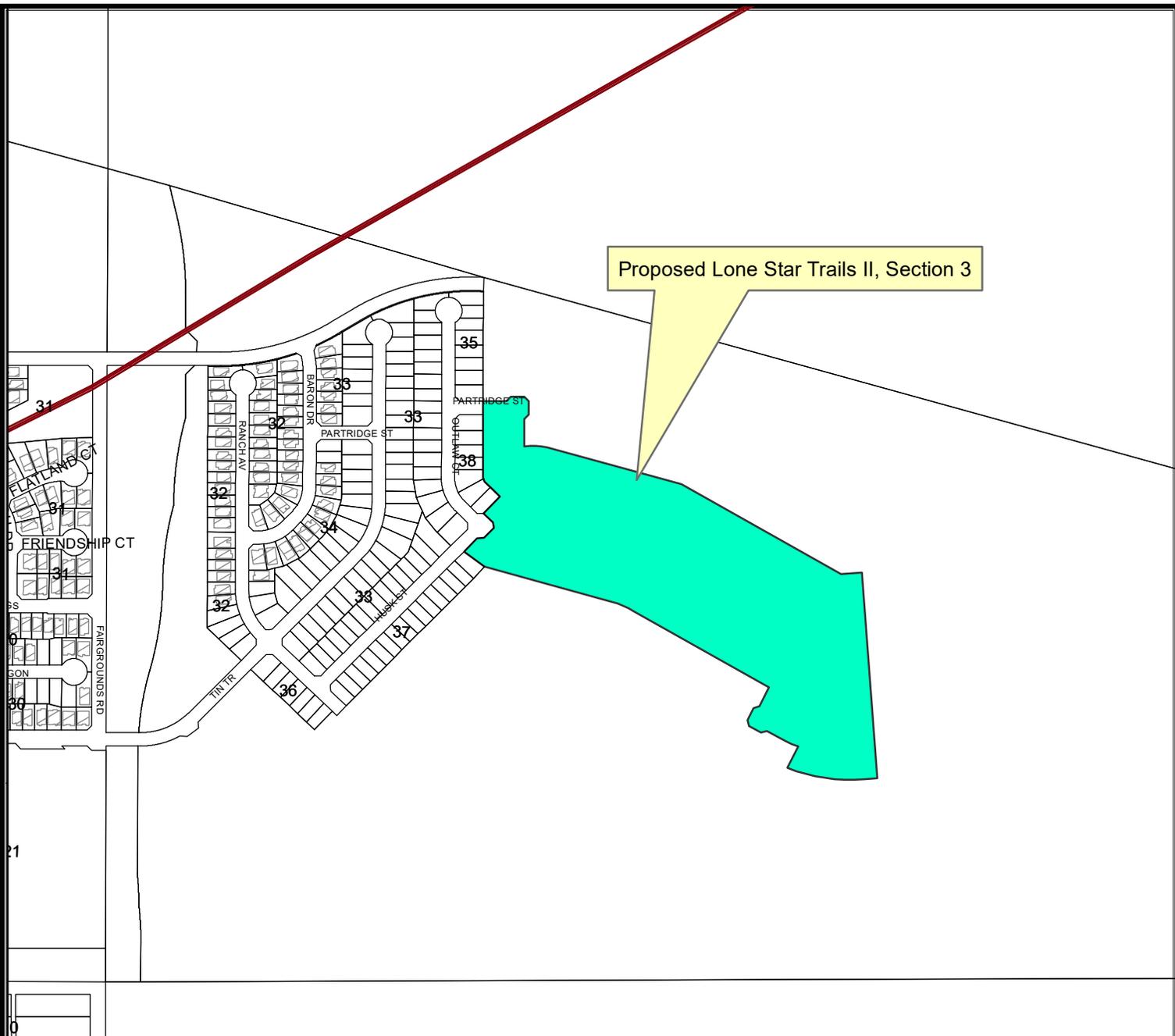
Received By:

Date:

JAN 16 2020

BY:

****Application will not be considered for scheduling until reviewed by a planner.****



Proposed Lone Star Trails II, Section 3

LOCATION MAP

SUB-18-0002

Scale: 1" = 400'

Consider a proposed Final Plat of Lone Star Trails II, Section 3 being a 29.42-acre tract of land located in Section 7, Block 38, T-1-S, T&P RR. Co. Survey, City and County of Midland Texas.

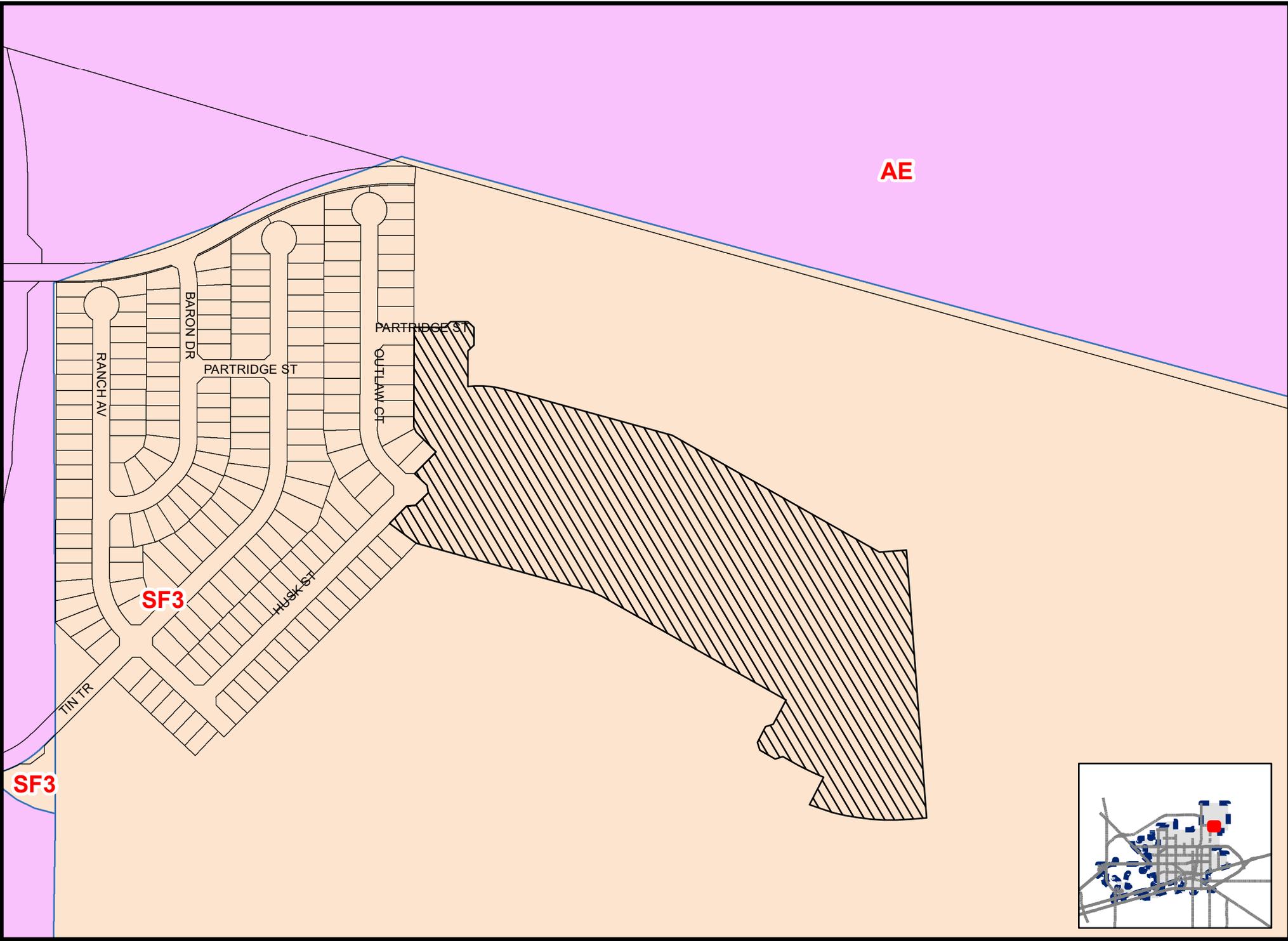
(Generally located east of the intersection of Husk Street and Outlaw Court. Council District 1)

LEGEND

-  CITY LIMITS
-  PARCEL
-  PRIVATE BLDGS



©THE CITY OF MIDLAND - 2019
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.





Planning and Zoning Commission

Approved for Agenda:
Cristina Odenborg

MEETING DATE: April 20, 2020

TO: Planning and Zoning Commission

FROM: Taslima Khandaker, Senior Planner

SUBJECT: Consider a proposed Final Plat of Midland International Airport Industrial Park, Section 8, being a 21.156-acre replat of a 0.03-acre portion of Lot 1A, Block 1, a 0.03-acre portion of Lot 1A, Block 2, a 0.013-acre portion of Lot 2A, Block 2, and a 21.12-acre portion of Lot 1A, Block 13, Utility Easement and Railroad Spur, Earhart Drive, All in Midland International Airport Industrial Park, City and County of Midland, Texas. (Generally located on the east side of La Force Boulevard, approximately 1,148-feet south of Windecker Street. Council District 1)

Recommended Planning and Zoning Commission Action:

Approve

Deny

Direction/Informational

Current Zoning:

TP, Technology Park District and PD, Planned District for an Office Center.

Preliminary Plat Approval:

The property is located at 2805 Earhart Drive. The applicant is requesting to plat the property into (6) six lots for future development. The Preliminary Plat was approved on the March 30, 2015 Planning and Zoning Commission Meeting.

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificates from both Midland County and the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Code Compliance: (Approved)

No Oil or Gas wells identified within 500 ft. permitted well radius or in the 135 ft. non-permitted well radius of location on plat.

Fire: (Approved)

No additional comments.

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2017 NEC requirements, the 2015 International Fire Codes, local city ordinances, zoning requirements, established setbacks, and floodplain requirements if necessary.

Transportation: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review.

No objections to plat.

Engineering: (Approved)

ROW: Okay as shown.

Paving: Earhart and Enterprise are constructed to City Standards.

Water: Water is constructed according to Phase 1 Plans.

Fire Hydrants: Required as needed to meet City Fire Code at directive of City Fire Marshal.

Pro Rata Due: None.

Sewer: Construct as per approved Phase 1 plan set. Construct improvements for western half of plat to City standards or provide surety.

Drainage: Construct as per approved Phase 1 plan set. Comply with drainage study "Update to Drainage Report for Midland International Airport" approved on 6/2/2016 for Phase 1. Construct improvements for western half of plat to City standards or provide surety. Comply with existing drainage report for western half of plat or provide drainage study.

Easements: Easements okay as shown.

Sidewalk: Construct as per approved Phase 1 plan set. Construct improvements for western half of plat to City standards or provide surety.

Surveyor:

At the intersection of Earhart and Laforce, the widening of the ROW from 60' to 80' will affect adjoining lots.

Planning:

The property is located in the AOZ-4, Airport Overlay Zoning District. If structures are being constructed on the property, apply for Airport Overlay Zoning waiver. The waiver will be processed through the building official.

Staff recommends approval subject to Condition A.

Conditions:

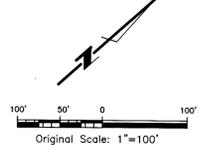
- A. All plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filling for recording with the County Clerk of Midland County, Texas.

Attachments:

Proposed Final Plat
Application
Maps

MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK SECTION 8

Being a 21.156 Ac. Replat of a 0.03 Ac. Portion of Lot 1A, Block 1, a 0.03 Ac. Portion of Lot 1A, Block 2, a 0.13 Ac. Portion of Lot 2A Block 2, and a 21.12 Ac. Portion of Lot 1A, Block 13, Utility Easement and Railroad Spur, Earhart Drive All in MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK, An Addition to the City and County of Midland, Texas. Recorded in Cabinet F, Page 187, P.R.M.C.

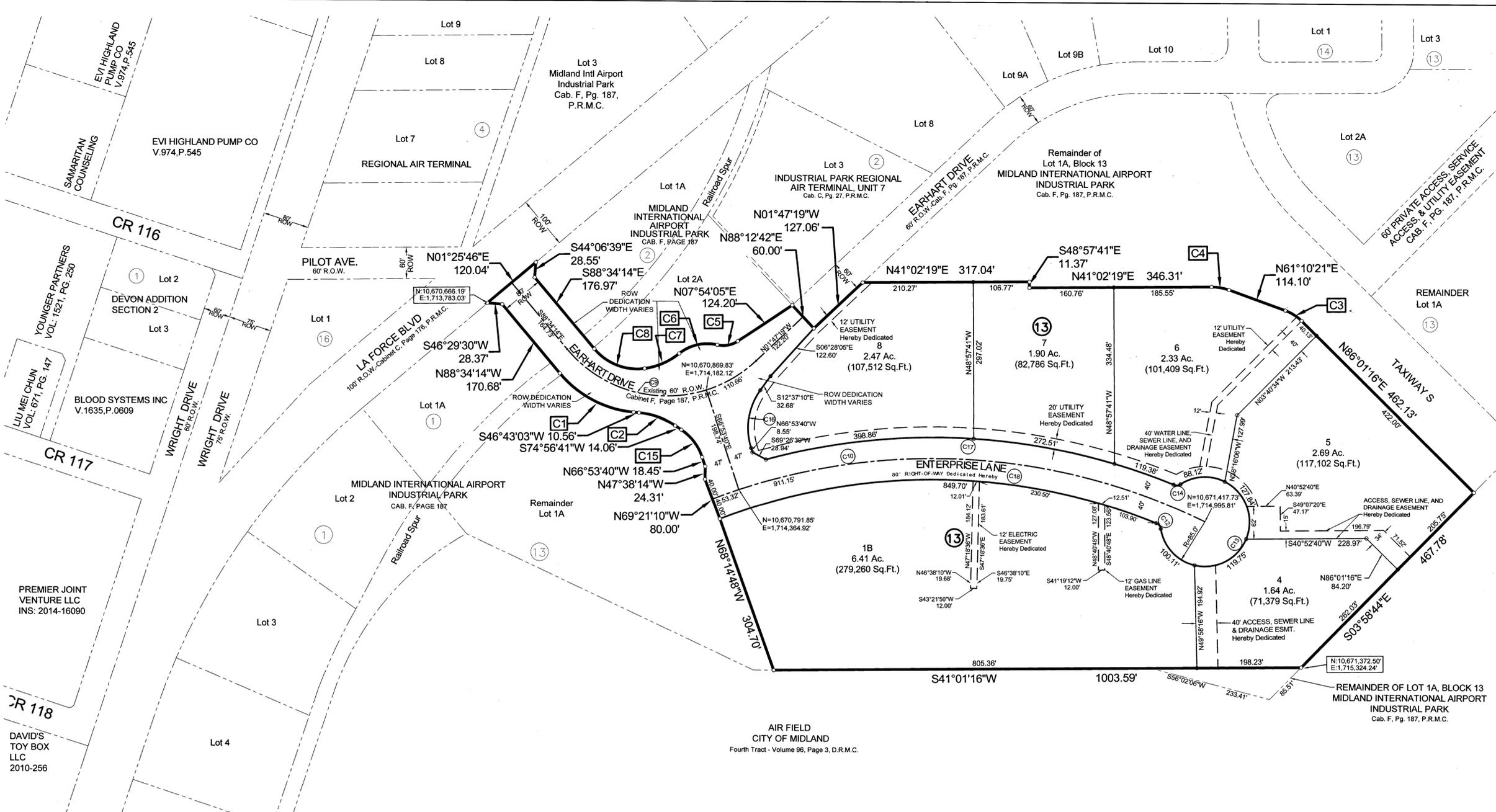


LEGEND

- PROPOSED PLAT LIMITS
- PROPOSED STREET R/W & BLOCK LINES
- EXISTING PLATTED LOTS & STREET R/W
- EXISTING EASEMENTS
- PROPOSED EASEMENTS
- PROPOSED LOT LINE
- SET 1/2" IRON ROD WITH PLASTIC CAP MARKED "PLS 1974" AT EACH LOT CORNER WHERE POSSIBLE

NOTES

1. A BLANKET EASEMENT OF INGRESS AND EGRESS WILL BE GRANTED FOR MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK, SECTION 8 TO THE CITY OF MIDLAND FOR GARBAGE AND TRASH COLLECTION AND LOCATION AND MAINTENANCE OF TRASH CONTAINERS, SAVE AND EXCEPT THOSE AREAS OCCUPIED BY A BUILDING OR STRUCTURE. SAID EASEMENT IS CONDITIONED SUCH THAT NO CONSTRUCTION SHALL COMMENCE ON SAID LOT UNTIL EXACT LOCATION OF SAID CONTAINERS AND THE EASEMENTS IN CONNECTION THEREWITH HAVE BEEN SELECTED AND APPROVED BY THE DIRECTOR OF UTILITIES.
2. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
3. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
4. THIS DEVELOPMENT FALLS WITHIN THE MIDLAND INTERNATIONAL AIRPORT A02-4 ZONE.
5. BASED ON THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAP, COMMUNITY NUMBER 480477, SHEET NUMBER 483290200 F, WITH AN EFFECTIVE DATE OF DECEMBER 6, 1999 AND REVISED SEPTEMBER 16, 2005, THE SURVEYED PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE MAP. THE FLOOD ZONE CLASSIFICATION FOR THE SURVEYED PROPERTY IS ZONE X.
6. INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
7. RELATIVE TO THE EXISTING DRAINAGE EASEMENT: THE MAINTENANCE OF ANY STORMWATER FACILITY IN THIS EASEMENT IS THE RESPONSIBILITY OF THE PROPERTY OWNER. PROPERTY OWNER AGREES TO MAINTAIN THE FACILITY IN WORKING ORDER, WITH INSPECTIONS AND CORRECTIVE ACTION MADE AT LEAST ANNUALLY. REPORTS OF SUCH INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR INSPECTION BY THE CITY OF MIDLAND STORMWATER ADMINISTRATOR ON REQUEST, OR MAY BE FORWARDED TO THE CITY ENGINEER'S OFFICE.
8. RELATIVE TO THE EXISTING DRAINAGE EASEMENT: THE CITY OF MIDLAND SHALL HAVE THE RIGHT TO MITIGATE DEFICIENCIES IN THE FUNCTION OF THE STORMWATER FACILITY, AND TO BE REIMBURSED BY THE PROPERTY OWNER, IF THE CITY FINDS IT NECESSARY FOR PUBLIC HEALTH AND SAFETY.
9. RELATIVE TO THE EXISTING DRAINAGE EASEMENT: THE CITY OF MIDLAND AND ITS EMPLOYEES, CONTRACTORS, AGENTS, SUCCESSORS, AND ASSIGNS, SHALL HAVE THE FREE AND UNINTERRUPTED RIGHT OF PASSAGE IN, ON, UPON, OVER, UNDER, ACROSS, ALONG AND THROUGH THE PROPERTY DESCRIBED HEREIN FOR THE PURPOSE OF ESTABLISHING, LAYING, CONSTRUCTING, RECONSTRUCTING, INSTALLING, REALIGNING, MODIFYING, REPLACING, IMPROVING, ALTERING, OPERATING, MAINTAINING, ACCESSING, INSPECTING, REPAIRING, RELOCATING AND REMOVING SAID FACILITIES, INCLUDING BUT NOT LIMITED TO, THE RIGHT TO CUT AND TRIM BUSHES AND TREES, TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND REGRESS FOR SUCH PURPOSES IN, ON, UPON, OVER, UNDER, ACROSS, ALONG AND THROUGH THE PROPERTY DESCRIBED HEREIN.
10. RELATIVE TO THE EXISTING DRAINAGE EASEMENT: DEVELOPER MAY NOT USE ANY PART OF THE PROPERTY DESCRIBED HEREIN IF SUCH USE WILL DAMAGE, DESTROY, INJURE, AND/OR UNDULY INTERFERE WITH THE CITY OF MIDLAND'S USE OF THE PROPERTY. DEVELOPER EXPRESSLY COVENANTS AND AGREES FOR ITSELF, ITS LEGAL REPRESENTATIVES, SUCCESSORS AND/OR ASSIGNS, THAT NO BUILDING, ROADWAYS, OR CURBS AND GUTTERS OF ANY KIND WILL BE PLACED ON THE PROPERTY DESCRIBED HEREIN. WRITTEN PERMISSION FOR ABOVE GROUND APPURTENANCES MUST BE OBTAINED FROM THE CITY OF MIDLAND, PRIOR TO INSTALLATION.



CURVE	ARC L	CHORD L	CHORD BEARING	DELTA ANGLE	RADIUS
C1	162.71'	158.61'	S69°04'24"W	44°42'43"	208.50'
C2	73.90'	73.15'	S60°49'52"W	28°13'39"	150.00'
C3	36.89'	36.61'	N73°35'49"E	24°50'56"	85.07'
C4	33.99'	33.81'	N51°06'20"E	20°08'02"	96.72'
C5	40.76'	39.64'	N31°15'28"E	46°42'46"	50.00'
C6	76.74'	74.12'	N28°32'59"E	52°07'43"	84.34'
C7	72.64'	71.74'	N18°05'01"E	31°18'42"	132.92'
C8	107.12'	102.66'	S62°35'04"W	57°41'24"	106.39'
C9	403.16'	360.15'	N44°49'14"E	93°13'05"	247.80'
C10	964.47'	937.85'	N43°55'54"E	46°49'50"	1180.00'
C12	14.57'	13.93'	S87°16'01"E	59°01'51"	14.14'
C13	435.81'	92.78'	N24°40'07"W	293°49'45"	84.98'
C14	13.80'	13.26'	S36°59'42"W	55°56'26"	14.14'
C15	66.60'	65.38'	S85°58'30"E	38°09'38"	100.00'
C16	115.21'	110.95'	N39°45'25"W	54°16'31"	121.62'
C17	802.75'	788.35'	S44°32'20"W	37°42'01"	1220.00'
C18	849.70'	830.17'	N41°51'53"E	42°42'20"	1140.00'

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS That I, J. Stan Piper, a Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Midland, Texas.

J. Stan Piper
 J. Stan Piper, R.P.L.S. #1974
 Piper Surveying Company, Inc., P.O. Box 60432 Midland, Texas 79711
 FIRM #10155200



SPECIAL STATE PLANE COORDINATE NOTE

Bearings, distances and coordinates are relative to the Texas State Plane Coordinate System (Central Zone 1983 NAD), with a combined grid factor of 0.99987767 for mean project datum. The theta angle is equal to -0°57'45" at the Airport Reference Point.

OWNER'S CERTIFICATE

STATE OF TEXAS: COUNTY OF TEXAS: WHEREAS, THE CITY OF MIDLAND is the record owner of a 21.31 Acre Tract of Land as described above situated in Section 8, Block 4, T-2-S, T.&P. RR Co. Survey, City and County of Midland, Texas and more particularly described hereon.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That we, THE CITY OF MIDLAND do hereby adopt this plat designating the hereinabove described property as MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK, SECTION 8 to the City and County of Midland, Texas, and we do hereby dedicate to the public use forever the streets, and easements shown thereon.

WITNESS our hands at MIDLAND, Texas, this the ____ day of _____, 2020.

By: _____
 CITY OF MIDLAND - MAYOR Patrick Peyton

STATE OF TEXAS: COUNTY OF TEXAS:

This instrument was acknowledged before me on _____, 2020 by Patrick Peyton, as Mayor of the City of Midland, Texas.

Notary Public Signature _____

UTILITY COMPANY'S CERTIFICATE

This plat has been checked for accessibility of utilities.

Mariona Pind
 Mariona Pind
 Oncor Electric Delivery Service (PLEASE PRINT)

Luis Montez
 Luis Montez
 SuddenLink Communications (PLEASE PRINT)

Mark Lieb
 Mark Lieb
 Atmos Energy (PLEASE PRINT)

Bill Bentley
 Bill Bentley
 Grande Communications (PLEASE PRINT)

Kenneth P. Spence
 Kenneth P. Spence
 AT&T Texas (PLEASE PRINT)

CERTIFICATE OF APPROVAL

This is to certify that the above and foregoing plat of MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK, SECTION 8 was approved by proper action of the City Planning and Zoning Commission of the City of Midland, Texas, on this ____ day of _____, 2020.

Chairman (SIGN) Secretary (SIGN)
 (PRINT) (PRINT)

OWNER: CITY OF MIDLAND
 300 N. LORAIN
 P.O. BOX 1152
 MIDLAND, TEXAS 79702
 (432) 685-7200

ENGINEER: PARKHILL, SMITH & COOPER, INC.
 1700 W. WALL ST
 SUITE 100
 MIDLAND, TEXAS 79701
 (432) 697-1447

PLAT FILED FOR RECORD
 MIDLAND COUNTY, TEXAS
 NO. _____ CABINET _____
 DATE _____ PAGE _____

MIDLAND INTERNATIONAL AIRPORT INDUSTRIAL PARK SECTION 8



Final Plat Application

Project Number: _____

Case Number: P-20-0779

Proposed Subdivision Plat Name: Midland International Airport Industrial Park, Section 8

Legal Description (attached sealed Metes and Bounds): Being a 49.90 Ac. Replat of Lots 1A through Lot 5, Block 1 (7.38 Ac) Lots 1A and 2A, Block 2, (2.80 Ac) a 24.07 Ac Portion of Lot 1A, Block 13, 1.56 Ac. of Utility Easement and Railroad Spur, and a 1.03 Ac. portion of Earhart Drive in Midland International Airport Industrial Park. An addition to the City of Midland, Texas and 13.06 Ac out of Section 8, Block 40, T-2-S, T&P RR Co Survey Midland County Texas.

Property Owner

Printed Name: City of Midland

Phone (432) 697-1049

Email

Address

P.O. Box 1152

City

Midland

State

TX

Zip

79702

Developer (if different than Owner)

Printed Name:

Phone ()

Email

Address

City

State

Zip

Representative (if acting as Agent, see affidavit on page 2)

Firm: Parkhill, Smith, & Cooper

Printed Name: Josh Wallender

(PSC Job # 01.9952.19 - plat)

Phone (432) 697-1447

Email

jwallender@team-psc.com

Address

1700 West Wall, Suite 100

City

Midland

State

Texas

Zip

79701

Current Zoning: PD and TP

Reason for Platting: Development of Commercial Lots

Plat Information

Total Acreage: 49.90

Type: Single-Family Residential

Multi-Family Residential

Commercial

Extraterritorial Jurisdiction (ETJ)

Number of Residential Lots: N/A

Number of Multi-Family Dwelling Units:

Submittal Information: Standard Plats must be submitted at least 20 days and a Residential Replat must be submitted at least 25 days prior to the P&Z Commission meeting at which action is desired, unless Short Form or Administrative Procedure is applicable.

Items to be submitted with this application form:

- 2 FOLDED Copies of Dimensioned Plat
- 1 Signed Mylar (or more if applicant does not request a signed reproduction)
- 1 Extra Copy (11x17)
- Digital Files (JPEG & PDF)
- Original Tax Certificates (Midland Central Appraisal District – MCAD)
- Title Opinion/Policy (dated less than 90 days)
- Application Fee – Payable to the 'City of Midland'
- Recording Fee – Payable to 'Midland County Clerk'

RECEIVED
JAN 21 2020

BY:

Mylar Reproductions

This application authorizes the City to file the approved plat and associated documents with the County Clerk for recording. This application also authorizes the City to reproduce 1 mylar copy of the approved plat at the expense of the engineering firm/applicant for the City's records if needed. (Applicant can submit additional signed mylar instead of reproduction.)

- Applicant would like a reproduction made for their records
- Applicant does not want a reproduction/will make their own **2 EXTRA PROVIDED**

Recording Fee (Payable to 'Midland County Clerk')

For plats 18" to 24" \$61.00
 For plats that exceed 24" \$81.00
 For related documents, \$26.00 for first page, \$4.00 for each additional page.

Signature (by property owner only – authorized agent must sign affidavit below)

Property Owner (signature): _____	Date: _____
-----------------------------------	-------------

Property Owner (printed) : _____

The Final Plat shall be considered officially received in the Planning office only when it has been submitted in full compliance with the provisions of Section 212 of the Texas Local Government Code and the Subdivision Code of Ordinances of the City of Midland and when such required items for the application are also received.

All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.

If an agent is authorized by the property owner to file and execute the application on behalf of the property owner, the agent must complete the affidavit below.

STATE OF TEXAS
COUNTY OF MIDLAND

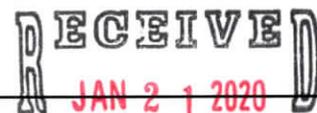
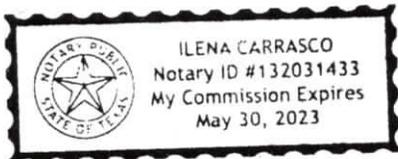
Before me, the undersigned authority, on this day personally appeared Josh Wallender who, being by me duly sworn, upon oath says: That (s)he is authorized by The City of Midland, the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Authorized Agent (signature)

Subscribed and sworn to before me, this 21 day of January, 2020, to certify which witness my hand and seal of office.

Ilena Carrasco

NOTARY PUBLIC, MIDLAND COUNTY, TEXAS



BY:

****Application will not be considered for scheduling until reviewed by a planner.****

FOR OFFICE USE ONLY

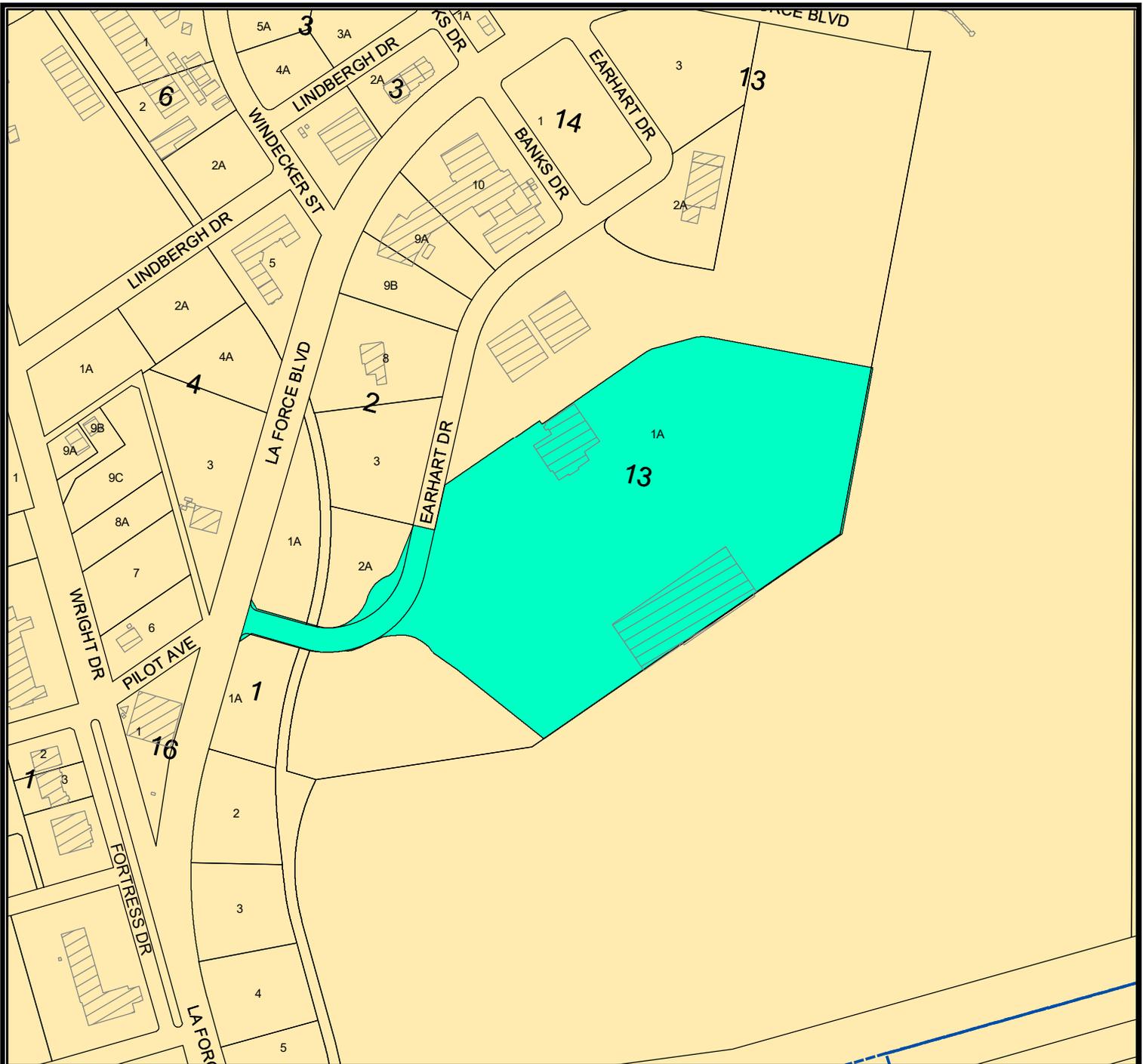
- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Property Owner Authorization | <input type="checkbox"/> 1 Copy of Dimensioned Plat | <input checked="" type="checkbox"/> Plat in Digital Format (PDF/JPEG) |
| <input checked="" type="checkbox"/> Mylar | <input type="checkbox"/> 1 Copy of Plat (11x17) | <input type="checkbox"/> Public Improvements |
| <input checked="" type="checkbox"/> Application Fee | <input type="checkbox"/> Title Opinion <i>city owned</i> | <input checked="" type="checkbox"/> Recording Fee |
| Check # <u>1416</u> | <input type="checkbox"/> Tax Certificates | Check # <u>81.00</u> |

Received By: *[Signature]*

Date: **RECEIVED**
JAN 21 2020

BY:

****Application will not be considered for scheduling until reviewed by a planner.****



LOCATION MAP

P-20-0779

Scale: 1" = 250'

Proposed plat of Midland International Airport Industrial Park, Section 8, being a replat of a .03-acre portion of Lot 1A, Block 1, a .01-acre portion of Lot 1A, Block 2, a .21-acre portion of Lot 2A, Block 2, a 19.91-acre portion of Lot 1A, Block 13; a .05-acre portion of the RR Spur, all out of Midland International Airport Industrial Park Addition, City and County of Midland, Texas.

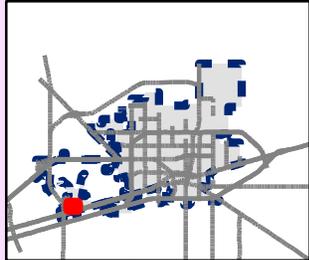
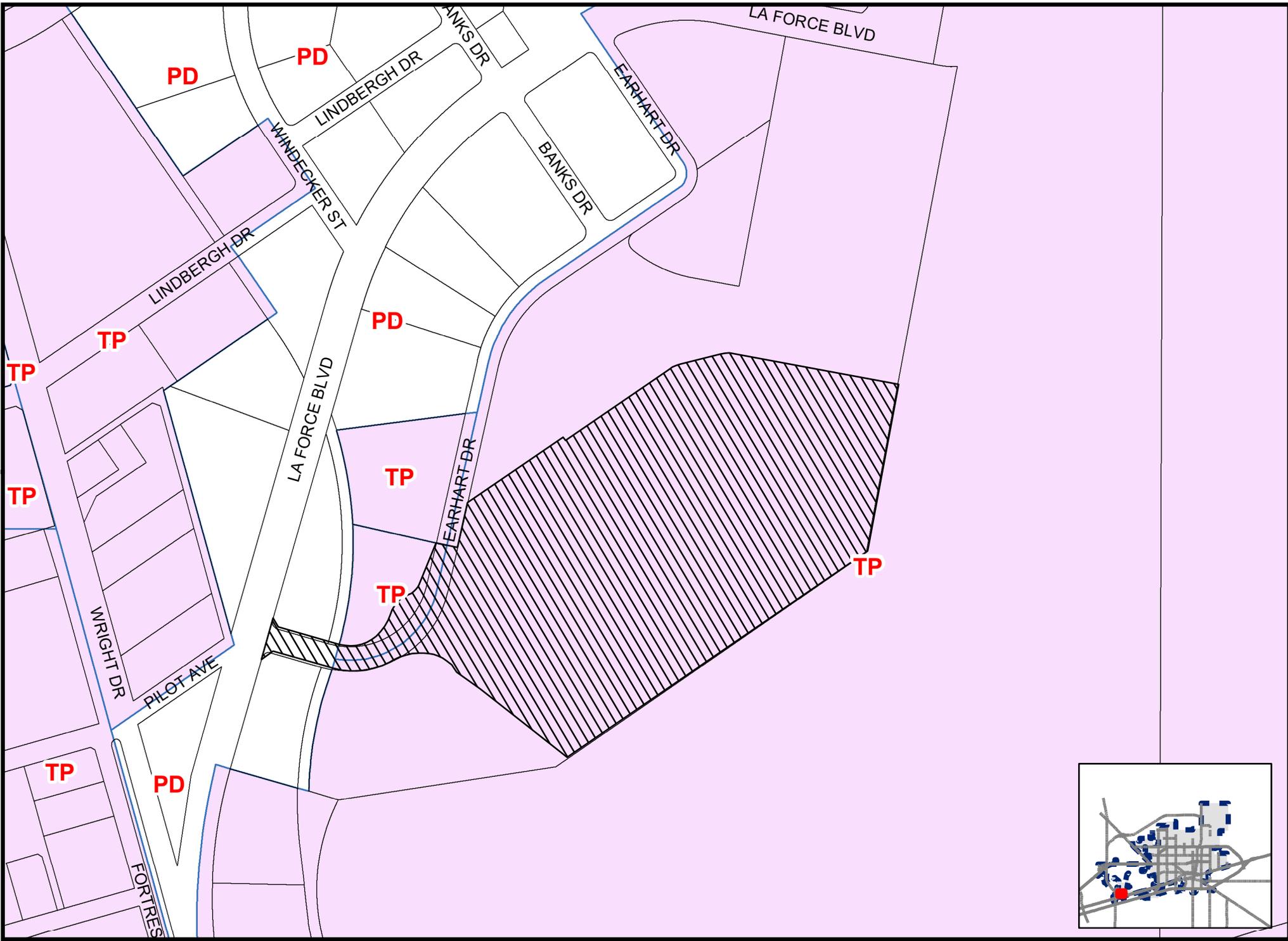
Generally located on the east side of La Force Boulevard, approximately 1,148-feet south of Lindbergh Drive.
(Council District 1)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2020
THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.





Planning and Zoning Commission

Approved for Agenda:
Cristina Odenborg

MEETING DATE: March 16, 2020

TO: Planning and Zoning Commission

FROM: Taslima Khandaker, Senior Planner

SUBJECT: Consider a reinstatement of an approved Preliminary Plat of Midland International Airport Industrial Park, Section 8, being a replat of Lot 1A and Lots 2 through 5, Block 1; Lots 1A and 2A, Block 2; a 23.21-acre portion of Lot 1A, Block 13; a 1.10-acre portion of Earhart street right-of-way adjacent to Lots 1A and 2A, Block 2; plus a 1.64-acre Utility Easement and Railroad Spur, Midland International Airport Industrial Park Addition; and a 13.04-acre tract of land out of Section 8, Block 40, T-2-S, T&P Railroad Company Survey; all located in the City and County of Midland, Texas. (Generally located northeast of the intersection of La Force Boulevard and W. State Highway 80. Council District 1).

Recommended Planning and Zoning Commission Action:

Approve

Deny

Direction/Informational

Details of Request:

This approximately 50-acres of City owned property near the Midland International Air and Spaceport is being re-platted from eight lots and raw land into three lots for future business development.

Drainage:

A drainage study must be approved by staff as a condition of final plat approval.

Public Improvements:

Required public improvements include the paving of all dedicated right-of-way, and the construction of water and sewer lines to City standards to serve all lots, as well as fire hydrants to meet Fire code.

Right-of-Way:

The dedication of Enterprise Lane, as shown on the Preliminary Plat is required to provide access to all lots.

Technical Items:

That all lots have a unique lot number.

That the title block is corrected to reference the "City and County of Midland, Texas," instead of "Midland County, Texas".

That all proposed easements are labeled appropriately.

Staff recommends approval of the proposed preliminary plat of Midland International Airport Industrial Park, Section 9, subject to the following conditions.

Conditions:

- A. That a drainage plan is approved
- B. That the required public improvements are adequately addressed.
- C. That the technical items listed above are corrected.

Attachments:

Preliminary Plat Application
Maps
Proposed Preliminary Plat

From: [Josh Wallender](#)
To: [Taslima Khandaker](#)
Cc: [Cristina Burns](#)
Subject: RE: Midland International Airport Section 8 Final Plat
Date: Monday, March 9, 2020 4:48:34 PM
Attachments: [image001.png](#)

Totally forgot as well. I would like to reinstate the preliminary plat for Midland International Airport Section 8 as well.

Sincerely,

Josh Wallender
Engineering Technologist

PARKHILL SMITH & COOPER
1700 W. Wall St., Suite 100
Midland, Texas 79701
432.697.1447 | team-psc.com

From: Taslima Khandaker <tkhandaker@midlandtexas.gov>
Sent: Monday, March 9, 2020 4:36 PM
To: Josh Wallender <JWallender@team-psc.com>
Cc: Cristina Burns <coburns@midlandtexas.gov>
Subject: RE: Midland International Airport Section 8 Final Plat

Thank you!
I will also need the revisions per the Final Plat comments I sent you as well.

Regards,

Taslima Khandaker
Senior Planner | Development Services | City of Midland
O: (432) 685-7400 Ext: 7915



300 N. Loraine Street | P.O. Box 1152 | Midland, TX 79701

From: Josh Wallender <JWallender@team-psc.com>
Sent: Monday, March 9, 2020 4:33 PM

**CITY OF MIDLAND
Planning Division**

PRELIMINARY PLAT APPLICATION

I. APPLICATION

Proposed Subdivision Plat Name: Midland International Airport Industrial Park, Section 8

Legal Description of Plat (or see attached metes and bounds) Being a 49.90± Ac. Replat of Lots 1A through Lot 5, Block 1, Lots 1A and 2A, Block 2 and a 23.21 Ac. portion of Lot 1A, Block 13, 1.64 Acre of Utility Easement and Railroad Spur and 1.10 Ac. Portion of Earhart Drive in Midland International Airport Industrial Park an Addition to the City of Midland,

Property Owner: Texas and 13.04 Ac. out of Section 8, Block 40, T-2-S, T&P RR Co. Survey, Midland County Texas.
City of Midland (432) 697-1049

(Name) (Phone/e-mail)
PO Box 1152 Midland, Texas 79702
(Street Address) (City, State, Zip)

Developer Information (if different from Owner)
Same as Owner

(Name) (Phone/e-mail)
(Street Address) (City, State, Zip)

Representative Information (if acting as Agent, see Note on page2):

Parkhill, Smith & Cooper, Inc. (432) 697-1447 / jsquyres@team-psc.com
(Name) (Phone/e-mail)

1700 W. Wall Street, Suite 100 Midland, Texas 79701
(Street Address) (City, State, Zip)

II. FEES

Standard Plat or Residential Replat

For plats up to 50 acres: **\$250.00**

For plats over 50 acres, \$1.00 for each additional acre, up to \$500.00

TOTAL \$ 250.00

III. SUBMITTAL INFORMATION

Submittal Date: Minimum of 24 days prior to the Planning and Zoning Commission meeting at which consideration is desired.

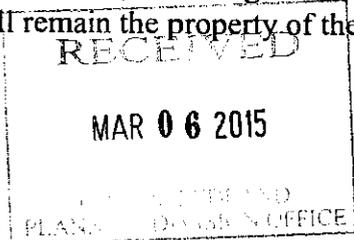
Check items if submitted with this application form

- | | |
|---|----------|
| 1. Application Fee: | <u>X</u> |
| 2. Copies: (FOLDED) (16 prints) | <u>X</u> |
| 3. Digital file: (.jpg and .pdf format) | <u>X</u> |
| 4. Drainage plan: (submitted to Engineering Div.) | <u>X</u> |

For Office Use Only Rec'd By/ Date
<u>CO 3/4/15</u>
<u>CO 3/6/15</u>
<u>CO 3/6/15</u>

The Preliminary Plat shall be considered officially received in the Planning office only when it is in compliance with the provisions of the City of Midland Subdivision Code and when items 1 - 4 above are received.

All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.



IV. REQUEST FOR A VARIANCE

The following variances are requested: (attach additional sheets if necessary)

- 1. Sidewalk deferral: If property is located within the City Limits and is currently undeveloped, do you intend to seek a deferral from the Building Code requirement to construct public sidewalks?
YES ___ NO X
- 2. Street/Alley alignment, width or length: _____
- 3. Other: _____

V. REQUEST FOR A DEVELOPMENT AGREEMENT

Do you expect to request a development agreement with the City? YES ___ NO X If yes contact the City Engineer @ 432-685-7286.

VI. PROVISIONS

The Planning and Zoning Commission may approve, disapprove, or conditionally approve a preliminary plat. Conditional approval is subject to conformity with prescribed conditions and is considered disapproval of the plat until said conditions are met. Approval of a preliminary plat shall be considered to be approval of the general arrangement of lots, streets and alleys and the width of streets and alleys, but is not considered to be final acceptance of the subdivision plat. In some cases, a preliminary plat must be considered by the City Council, and any approval by the Planning and Zoning Commission shall be considered a recommendation to the City Council.

VII. SIGNATURE (by property owner only - authorized agent must sign affidavit below)

Property Owner (signature): _____ Date: _____

If an agent is authorized by the property owner to file and execute the application on behalf of the property owner, the agent must complete the affidavit below.

STATE of TEXAS
COUNTY OF MIDLAND

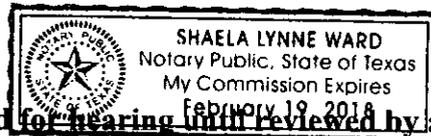
Before me, the undersigned authority, on this day personally appeared Jared A. Squyres who, being by me duly sworn, upon oath says: That (s)he is authorized by City of Midland, the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Jared A. Squyres
Authorized Agent (signature)

Subscribed and sworn to before me, this 16 day of February, 20 15, to certify which witness my hand and seal of office.

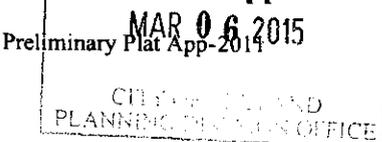
Shaela Ward

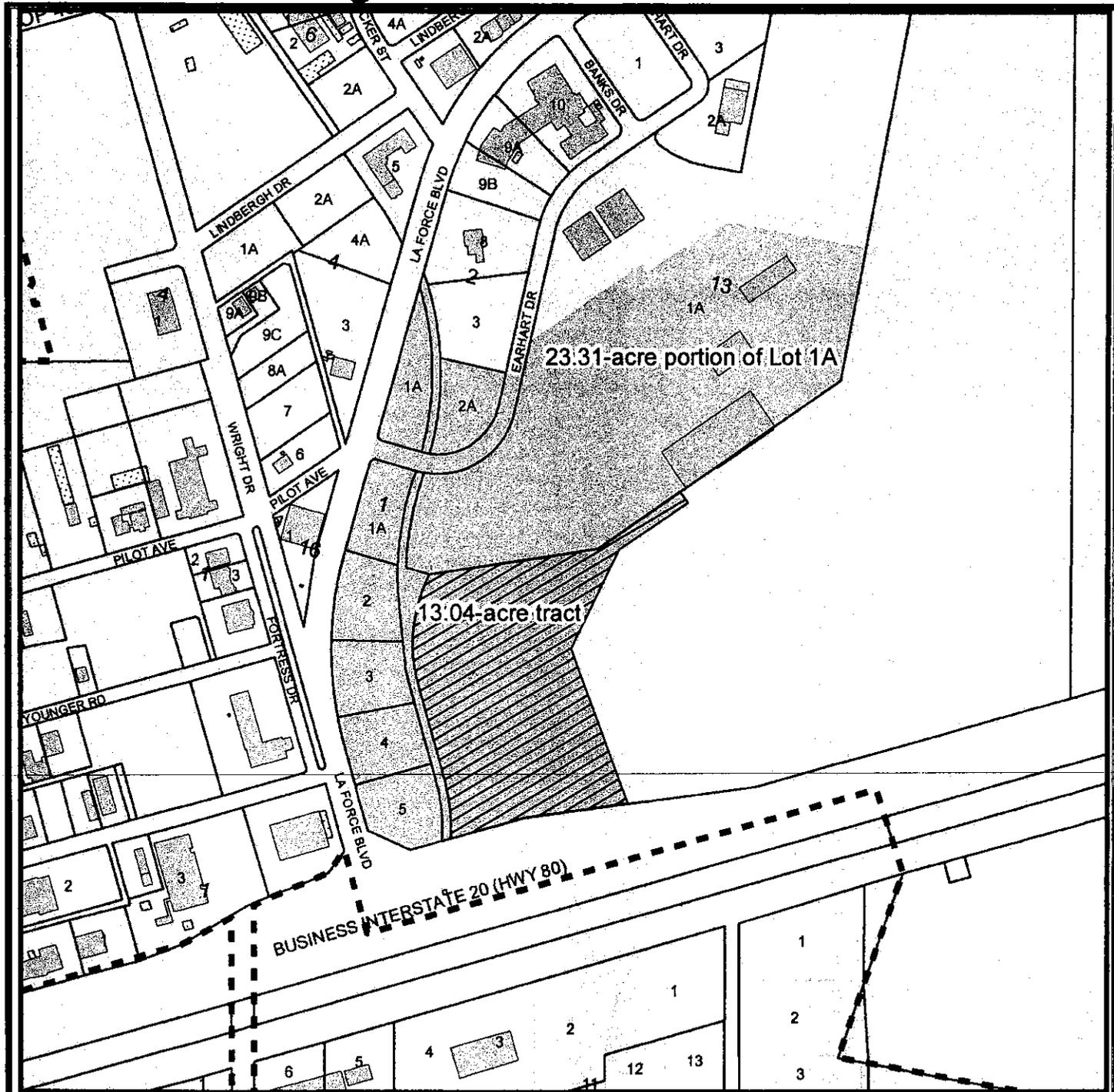
NOTARY PUBLIC, MIDLAND COUNTY, TEXAS



FOR OFFICE USE ONLY	
Rec'd BY: _____	DATE: _____
RES REPLAT: YES ___ NO ___	
ASSIGNED: _____	
FOR: _____	ON: _____
Council Action Required: <u>Y</u> <u>N</u>	

**** Application will not be scheduled for hearing until reviewed by a planner. ****





LOCATION MAP

P - 14 - 090

Scale: 1" = 500'

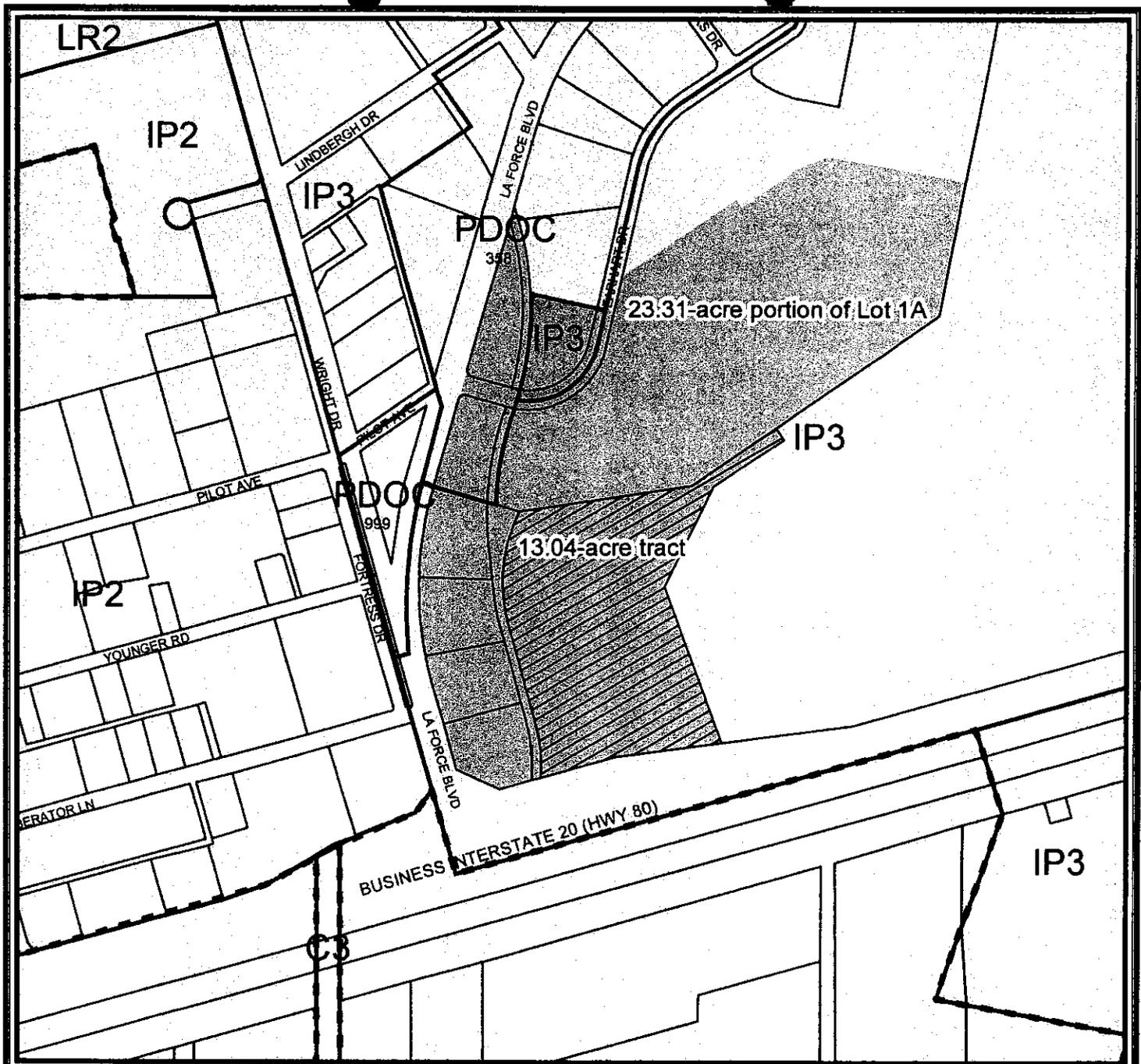
Proposed plat of Midland International Airport Industrial Park, Section 8, being a re-plat of Lot 1A and Lots 2 through 5, Block 1; Lots 1A & 2A, Block 2; a 23.21-acre portion of Lot 1A, Block 13; an 1.10-acre portion of Earhart street right-of-way adjacent to Lots 1A & 2A, Block 2; plus an 1.64-acre Utility Easement and Railroad Spur; Midland International Air Industrial Park Addition; and a 13.04-acre tract of land out of Section 8, Block 40, T-2-S, T & P RR. Co. Survey; all located in the City and County of Midland, Texas. (Council District 4)

LEGEND

- City Limits
- City Parcel
- County Parcel
- Private Building
- Public Building
- Auxiliary Building
- Airport Protection Zone

City of Midland, Texas
Planning Division





ZONING MAP

Map By SL, 3/13/2015

P - 14 - 090

Scale: 1" = 600'

Proposed plat of Midland International Airport Industrial Park, Section 8, being a re-plat of Lot 1A and Lots 2 through 5, Block 1; Lots 1A & 2A, Block 2; a 23.21-acre portion of Lot 1A, Block 13; an 1.10-acre portion of Earhard street right-of-way adjacent to Lots 1A & 2A, Block 2; plus an 1.64-acre Utility Easement and Railroad Spur; Midland International Air Industrial Park Addition; and a 13.04-acre tract of land out of Section 8, Block 40, T-2-S, T & P RR. Co. Survey; all located in the City and County of Midland, Texas. (Council District 4)

LEGEND

- CITY LIMITS
- ZONING
- CITY PARCELS
- COUNTY PARCELS
- AIRPORT PROTECTION ZONE

ZONING DISTRICTS:

FD	FUTURE DEVELOPMENT	BP	BUSINESS PARK
PD	PLANNED DISTRICT	P	PARKING
AE	AGRICULTURE ESTATE	O1, O2	OFFICE
CE	COUNTRY ESTATE	NS	NEIGHBORHOOD SERVICE
1F1, 1F2, 1F3	ONE-FAMILY DWELLING	LR1, LR2, LR3	LOCAL RETAIL
MH	MOBILE HOME DWELLING	C1, C2, C3	COMMERCIAL
TH	TOWNHOUSE DWELLING	IP, IP1, IP2, IP3	INDUSTRIAL PARK
2F	TWO-FAMILY DWELLING	LI	LIGHT INDUSTRY
MP1, MP2	MULTIPLE FAMILY DWELLING	HI	HEAVY INDUSTRY



Planning and Zoning Commission

Approved for Agenda:

MEETING DATE: April 20, 2020

TO: PLANNING AND ZONING COMMISSION

FROM: Taslima Khandaker, Senior Planner

SUBJECT: Hold a public hearing and consider a request by Patrick Brown for a zone change from AE, Agricultural Estate District, to PD, Planned Development District for a Housing Development on Lots 2 and 3, Block 1, Jaden Kate Addition, City and County of Midland, Texas. (Generally located on northwest corner of the intersection of N. Elkins Road and Arapahoe Road. Council District 1)

Recommended Planning and Zoning Commission Action:

Approve Deny Direction/Informational

Details of Request:

The applicant, Patrick Brown, is requesting a Zone Change from AE, Agricultural Estate District to PD, Planned Development District for a Housing Development at 6611 Elkins Road and 3801 Arapahoe Road, for a recovery residence community.

Current Zoning:

AE, Agricultural Estate District.

Surrounding Zoning and Land Use:

The properties to the north, east, south, and west are zoned AE, Agricultural Estate District, and are the locations of a residence and vacant land, respectively.

Analysis:

The applicant, Patrick Brown, is requesting to rezone the property from AE, Agricultural Estate District, to PD, Planned Development District for a Housing Development, to create a transitional housing community for individuals living a life of recovery. The property will need to be re-platted prior to development.

In addition to the two existing residences on the property, the site plan (Exhibit A) shows an additional twenty-six (26) homes, of which eight (8) are 16 feet by 50 feet, six (6) are 32 feet by 50 feet, and twelve (12) are 82 feet by 50 feet.

The 82-foot by 50-foot units will be six bedroom pre-manufactured homes that will each accommodate four single mothers and their children. The 32-foot by 50-foot units will be four bedroom pre-manufactured homes that will each accommodate an average of two adults and their children. The 16-foot by 50-foot units will be a combination of two bedroom and three bedroom pre-manufactured homes that will each accommodate two adults with their children and three adults, respectively.

The management staff, which will consist of a maximum of four adults and their children, will reside in the existing residences. A community meeting hall, a community park with a playground, a smaller park, sports field, pavilion, and a pool, a garden, and a stable and petting zoo are also proposed. The proposed density of the development will be approximately 1.5 units per acre.

Phase I will consist of one home group for single mothers and their children and one home group for two parent families, single fathers and their children, and single adults. The first phase of the development will be able to house up to 32 adults and their children. The completed development will consist of a total of three home groups for single mothers and their children and two home groups for two parent families, single fathers and their children, and single adults. The home groups for two parent families, single fathers and their children, and single adults will each include a laundry and meeting building. In total, the completed development will be able to house up to 80 adults and their children.

This proposed project has been circulated to and reviewed by respective City departments for internal review and their comments, conditions, and requirements are as follows:

Fire: (Approved)

No objection to zoning change.

Building: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2017 NEC requirements, the 2015 International Fire Codes, local city ordinances, zoning requirements, established setbacks, and floodplain requirements if necessary.

Engineering: (Approved)

No objection to zone change.

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

Code: (Approved with Conditions)

No PERMITTED Oil or Gas wells identified within 500 ft. radius of location. There are Pioneer non-permitted wells on this property that need to be identified and include a 135 ft radius which no building permits will be allowed in this area. Flow lines will need to be identified as they go across the property and access for operator to maintain wells. If the Pioneer wells have been plugged and abandoned then that will need to be identified.

Transportation: (Approved)

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

No objection to zone change.

Planning:

As listed in our Tall City Tomorrow Section 3.24. PD, Planned Development District, the purpose of the PD, Planned Development District is to create innovative concepts in land utilization or diversification. This means the property can encompass residential, commercial, light industrial, public or recreational uses.

This request is in compliance with the Tall City Tomorrow Comprehensive Plan, Chapter 4, Housing & Neighborhoods, Goal 3, "Provide adequate housing opportunities for the diverse needs of Midland's population." (Tall City Tomorrow, Page 10). This request will aid in Midland housing needs by providing affordable and adequate housing, along with a diverse option of

housing stock for the community of Midland. This request is also promotes various land uses within the plans.

Staff recommends approval of the zone change from AE, Agricultural Estate District to PD, Planned Development District for a Housing Development, subject to conditions A through E.

Conditions:

A. That the use and development shall conform to the regulations of the MF-16, Multiple Family Dwelling District, except as stated below.

B. That this property shall significantly conform to the site plan, attached hereto and incorporated herein, as Exhibit A.

C. That the proposed “pre-manufactured homes” must be modular units.

D. That one off-street parking space shall be required for each person over 18 years of age.

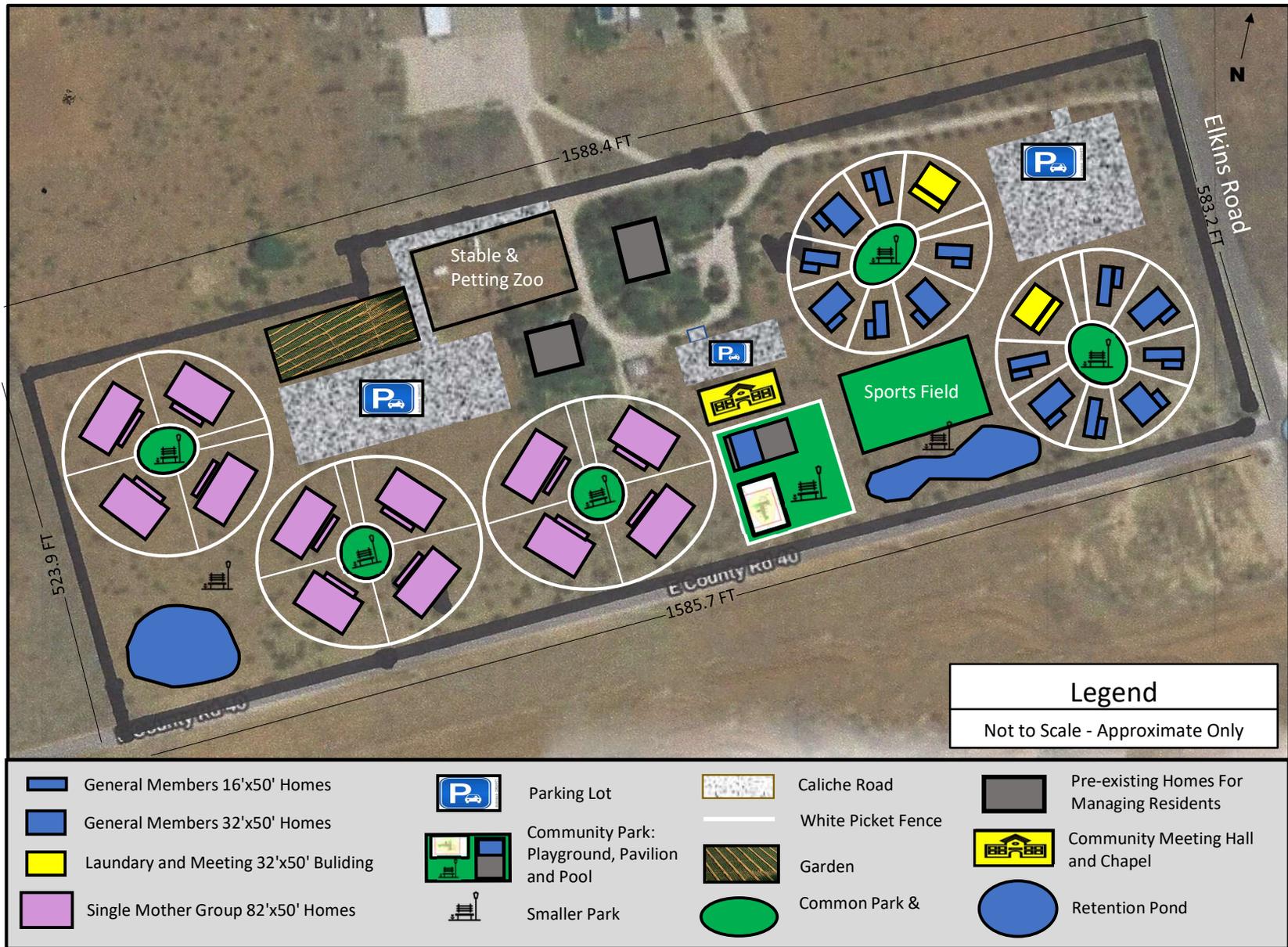
E. That the Landscape Plan shall be considered illustrative. Landscaping shall conform to the regulations set forth in Title XI, Chapter 9 of the City code.

Letters of Objection:

Staff has not received any objections as of April 15, 2020.

Attachments:

Site Plan (Exhibit A)
Angel Haven Project Description
Site Plan – Phase I
Angel Haven Policies and Procedures
Angel Haven Member Contract
Application
Maps



Angel Haven 6611

501 N. Loraine St.
Midland, Texas 79707
432-701-8678



Project Description Planned Development District for 6611 Elkins Road

Thrivng United Inc. (Thrivng United) proposes a Specific Use Designation (SUD) for the property at 6611 Elkins Road, Lot 2 & 3, Block 1, 22+/- Acres; Jaden Kate, City of Midland, Midland County. Thrivng United proposes that the current **Agricultural Estate (AE) Zoning** for this property be designated as a **Designated Development District**.

Concept

Thrivng United is developing Angel Haven 6611 as permanent supportive housing for individuals living a life of recovery. The proposed homes will be a small network of premanufactured homes to be used as affordable recovery residences. The Substance Abuse and Mental Health Services Administration (SAMHSA) defines recovery as a process of change through which individuals improve their health and wellness, live self-directed lives and strive to reach their full potential.

Our mission is to provide affordable housing for individuals who want to live a balanced, healthy lifestyle as members of a supportive, loving family and community through use of evidence-based practices, standards, support services, research, education, and advocacy.

Recovery residences provide safe, healthy, abstinent living environments based on a social model of recovery. The emphasis is on developing mutual support and skills for people in recovery that will enable them to lead productive lives in communities.

The National Alliance for Recovery Residences (NARR) established a National Standard for recovery residences in 2011. Thrivng United utilizes the NARR standards as guidelines, rules, and requirements for living in these homes. Angel Haven 6611 will undergo the process to achieve accreditation from NARR for this facility. The residents sign a family membership contract that details the requirements of abstinence and a code of citizenship ethics. Violation results in immediate action. The Angel Haven 6611 guidelines and contract are included with the submission.

The social model approach is the foundation of all recovery residences. NARR terms these type of homes as "Long Term Recovery Homes". The purpose of these homes is to assist each other in a community of people who are recovering from drug, alcohol, or other addictions. Oxford House and Sober Living are examples of other model recovery homes. DePaul University performed a statistical survey of 795 participants in the Oxford House program and found that extended participation in recovery residency improved the probability of long-term sobriety significantly, approaching 87%. The recovery residence provides a strong connection between recovery people and provides an environment that is affordable and conducive for recovery. The principles of recovery are spirituality and altruism. People in recovery benefit the whole society by providing increased productivity and better citizenship.

Location

The site plan is based on a survey provided by our Real Estate Agent. The dimensions are approximately 1585.7 feet on the South border, approximately 523.9 feet on the West border, approximately 1588.4 ft., and the East border is approximately 583.2 feet. The total acreage is approximately 21 to 22 acres. The entrance is on Elkins Road. There are two homes currently on the property and they will house the Property Management. There are 3 water wells and a septic system





Project Description Planned Development District for 6611 Elkins Road

that is already in use on the property. Thriving United plans on adding more water wells and septic systems as needed. If cost effective, Thriving United will bring City Water to the property. Thriving United will provide any additional infrastructure required, not limited to the proposal above.

Elkins Road, (County Road 1150), is a collector road that runs from north of Loop 250 to south of State Highway 158 in northeastern Midland County. There are numerous commercial developments and some agricultural estates and farms in the proximity of 6611 Elkins Road. The casual commuting traffic from our site would not have a serious impact on the existing traffic.

Development

All buildings will be no closer than 10 feet apart or closer than 15' from a property line. The homes will be constructed in an ellipse around a grass lawn over a septic field. The center of the ellipse will provide the children with a play area. The roads will consist of 25-foot-wide caliche-based asphalt that will connect to uncovered caliche-based asphalt parking lots to accommodate parking for the residences and guests. The property will be landscaped with new trees and flower beds.

The property will contain:

- Community garden, which will provide the community with some food and an agricultural experience
- Meeting hall/chapel where there the whole community will host meetings, church, and group activities
- Community park that is comprised of a playground, a covered pavilion and an indoor, inground pool
- Sports field
- Stables and a petting zoo with a variety of domesticated wildlife.

Thrivng United plans on developing the homes in two phases.

Phase 1:

- A) Single mothers and children division with one (1) home group:
 - a. Four (4) six-bedroom premanufactured homes that are 82' x 50', 4,100 square feet, that each will accommodate four (4) single mothers and their children
- B) Two-parent families, single fathers and children, and singles (General members) division with one (1) home group:
 - a. three (3) four-bedroom premanufactured homes that are 32' x 50', 1,600 square feet, that each is intended to accommodate two adults and their children
 - b. two (2) two-bedroom premanufactured homes that are 16'x50', 800 square feet, that each is intended accommodate two adult(s) with children
 - c. two (2) three-bedroom premanufactured homes that are 16'x50', 800 square feet, that each is intended accommodate three singles
 - d. one (1) 32'x50', 1,600 square feet, premanufactured building that will serve as a laundry and meeting building for the home group.





Project Description Planned Development District for 6611 Elkins Road

In phase 1, the property will have a total of 21,200 square feet of recovery-residence living space and will be able to house up to 32 adults and their children. The management staff will consist of a maximum of 4 adults and their children in a total of 2,800 square feet of existing residences. The Community Meeting Hall is planned to be 5,000 square feet.

Phase 2 will complete all phases of development.

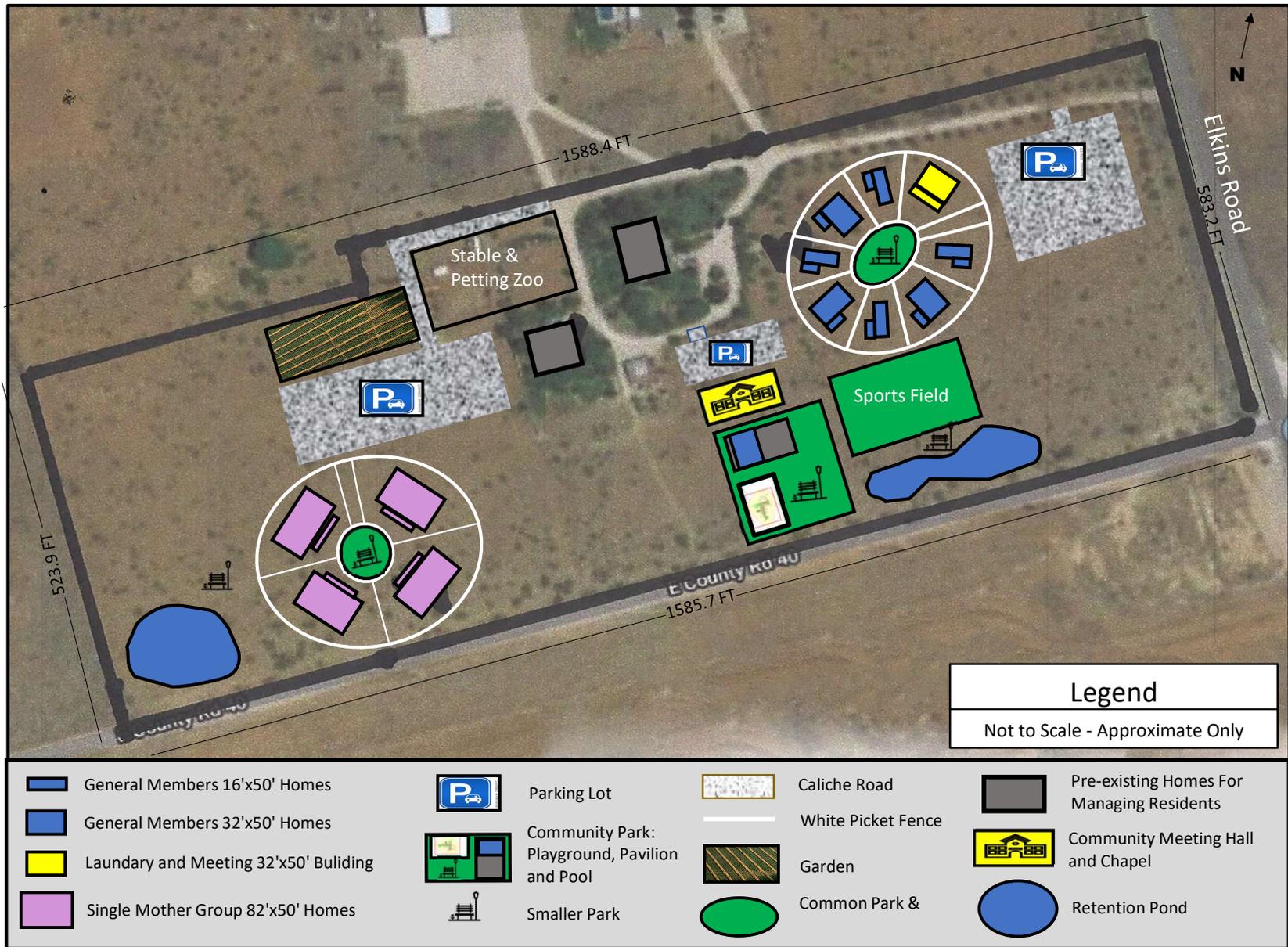
Phase 2:

- A) Single mothers and children division with three (3) home groups:
 - a. Four (4) six-bedroom premanufactured homes that are 82' x 50', 4,100 square feet, that each will accommodate four (4) single mothers and their children
- B) General members division with two (2) home groups:
 - a. three (3) four-bedroom premanufactured homes that are 32' x 50', 1,600 square feet, that each is intended to accommodate two adults and their children
 - b. two (2) two-bedroom premanufactured homes that are 16'x50', 800 square feet, that each is intended accommodate two adult(s) with children
 - c. two (2) three-bedroom premanufactured homes that are 16'x50', 800 square feet, that each is intended accommodate three singles
 - d. one (1) 32'x50', 1,600 square feet, premanufactured building that will serve as a laundry and meeting building for the home group.

After Phase 2, the property will have a total of 58,800 square feet of recovery-residence living space and will be able to house up to 80 adults and their children. The management staff will consist of a maximum of 4 adults and their children in a total of 2,800 square feet of existing residences. The Community Meeting Hall is planned to be 5,000 square feet.

The layout and placement of said structures and roads is subject to change as the design and permitting process progresses.







501 N. Loraine St.
Midland, Texas 79707
432-701-1489

AngelHaven6611@thrivingunited.org

Angel Haven 6611

Policies and Procedures

1. There is a 30 to 90 day clean and sober requirement prior to admission into Angel Haven 6611. If a member relapses and is released they will need to acquire an additional 30 to 90 days of sobriety in order to reenter. This rule is for the welfare of all house members and their sobriety.

2. There is a minimum requirement of a 3-month paid commitment.

3. All members are required to be working a recovery program and living a healthy lifestyle. All members must be willing to disclose their program and be willing to be held accountable to that program. For example:

a.) An individual working an AA/NA program will attend so many meetings a week and have a sponsor. They must be willing to be held accountable by their family to attend the meetings and provide the name/number of their sponsor.

b.) An individual working a program through Celebrate Recovery will attend a weekly meeting and have a sponsor. They too must be willing to be held accountable by their family to attend their meetings and provide the name/number of their sponsor.

Every resident must be working on their recovery and demonstrating to their family that they are living a recovery lifestyle (i.e.; volunteer work, participation in program activities, meditation, language, healthy lifestyle choices, etc..) because recovery and healthy living is our primary purpose.

Note: Members are required to discuss their program and how it is working at weekly family meetings.

4. Any House member who is found to be using any narcotics, synthetics or alcohol will be released immediately. You may visit with a Program Facilitator about treatment options if you so desire.

Any member who has knowledge of another member's relapse and withholds this information from the House could be removed.

If you provide urine or tamper with urine or have knowledge or other's tampering with a specimen will be grounds for removal.

5. Drug/Alcohol testing may be required from any member at any time and without notice.

Failure to submit to testing for any reason will be viewed as an admission of relapse that will require immediate release and removal of the member.

Urine specimen collection shall be performed by a Program Facilitator or a family member at the direction of the Program Facilitator using a direct observation collection method.



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6. An individual who is on prescription medication for Mental Illness or Emotional Wellbeing must disclose this information prior to becoming a member. A medication plan will be implemented on an individual basis.

Misuse or sharing of narcotic medication may be ground for dismissal.

Types of misuse may include:

- a) Taking any medication not prescribed to the individual by a physician or otherwise not approved
- b) Taking any prescription narcotic medication that has not been disclosed and implemented through a medication plan (NO EXCEPTIONS)
- c) Not taking medicine as prescribed and required by a physician.

If there is any misuse of any medication prescribed or over the counter in any way that is grounds for immediate dismissal. If there is ANY question, do not take it and ask a Program Facilitator.

Member must notify a Program Facilitator within 24 hours of any prescribed medication changes.

7. In order to obtain membership at Angel Haven 6611 a full month membership fee of \$750 and a \$150.00 security fee are required.

The security fee is due prior to admission, unless otherwise discussed with a Program Facilitator. The membership fee is due the 1st of the month following admission. Future membership fees will be due on the 1st of every month. The option to pay weekly is available as well. The membership plan will be discussed and agreed upon prior to move in of resident.

All payments may be made by cash or money order payable to Thriving United. Membership fees are considered a paid fee toward an individual's commitment of time to stay a member of the house.

8. All members are required to have verifiable employment. If a member is struggling to obtain work, then they are required to work with a Peer Support Specialist to find work.

9. Disruptive behavior is grounds for release and described below:

- a) Any physical or verbally antisocial behavior;
- b) Stealing (eating someone else's food or using their toiletries is considered stealing);
- c) Lying;
- d) Being in another members room without permission;
- e) Constantly complaining or bringing negativity into the home.

Behaviors that jeopardize the well-being of the family and community will be initially discussed by the family and continued disruption can be grounds for dismissal.



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10. Family meetings are mandatory! As a member of this home everyone is expected to actively participate as a member of their choice family.
11. Weekly chore lists will be discussed and planned at the weekly family meeting. As a member you are expected to do your chores daily.
12. Be clean! Bedroom needs to be clean! No leaving dishes in the sink, leaving personal items in living room or common areas (kitchen, bath, etc.), not bathing, not changing bed sheets weekly or being unsanitary in any way are all issues that will be discussed and handled at the discretion of each family.
13. Each family will determine how their family budget will be established, maintained and dispersed according to their family's needs. Each family unit is responsible for purchasing and cooking their own food, supplying their own personal hygiene items (toothbrush, toothpaste, bath soap, shampoo, razors, shave cream, etc.), or any other items for health issues (prescriptions, medical care, etc), laundry soap, dish soap, dishwasher soap, toilet paper, paper towels and other common household supplies.
14. No active alcoholics or addicts are allowed on premises – no exceptions!!
15. If you are the last to leave the House, you are responsible for locking both the front and back door. Failure to lock up will be discussed and handled at the discretion of each family.
16. Each family unit will decide how their family unit will operate according their family's needs and establish a set of family guidelines that will be provided to a Program Facilitator with Thriving United. The following are some examples of things families could address:
 - a. The living room television is to be off between the hours of 12:00 a.m. to 7:00 a.m., Sun.-Thurs. This is considered QUIET TIME.
 - b. Curfews or being absent from home for overnights or extended lengths of time.
 - c. Laundry schedule and respectful rules: Members are responsible for doing their own laundry. Laundry must be done and put up immediately. Other members have the right to move your laundry to a clean out of the way location if you are unavailable.
 - d. Grocery shopping should be done on a weekly basis vs. a monthly basis.
 - e. After 1:00 am, kitchen is considered a quiet area for cooking, including microwave. If you are hungry eat cereal, sandwich or fruit if available. This is out of respect for members sleeping in rooms close to the kitchen.
 - f. No visitors are allowed in any rooms for any reason alone, they must be accompanied by a member of that room, as well as the other members of the family being comfortable with the visitor.
 - g. Moms work together to assist and support each other's responsibility for watching their children. Each Mom is responsible for keeping an eye on their own children, while a schedule or team effort can be put in place to assist each other with childcare while attending meetings. Respect must be shown, and communication must be established for each other to prevent one person from always being shouldered with the responsibility.

Always be respectful of your family and fellow community members!



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17. All family members are responsible for ensuring anonymity and friendliness within the neighborhood.
18. All family business remains within the family and we do not air our business with the neighbors or other community members. (Every resident will sign a HIPAA agreement.)
19. No soliciting in the neighborhood for any reason or loitering in front of the home.
20. Vehicles must be parked in parking allotted for Thriving United and Angel Haven 6611. Do not park in front of neighbor's house. There will be no broken-down cars or vehicles allowed on premises unless approved by Program Facilitator for immediate repair purposes only.
21. There is absolutely no smoking in the home and that includes vaping. Dipping is allowed with proper containers (i.e., plastic bottles with lids – not dishes) and not to be left out.
22. All rooms are initially assigned by a Program Facilitator. If you want to change rooms then this can be discussed at family meeting and will then be up to the discretion of the family and family guidelines.
23. No weapons of any kind are allowed. If a weapon is found in a member's possession, the member may be asked to leave immediately!
24. Surfing pornography or distasteful websites on a family computer is not allowed.
25. Gaming consoles, laptops, and iPads are allowed but at your own risk. Thriving United is not responsible for keeping of such items. A Program Facilitator may search browser history of related equipment to ensure house standards are upheld.
26. Thriving United does have working monitoring security cameras outside of the house
27. Once a member departs, all mail will be returned to sender. Please put in a change of address!!!
28. Thriving United is not responsible for any member's lost or stolen items.
29. Breach in contract for any reason (i.e., relapse on alcohol or drugs, one month late on membership fees without seeking assistance from a Peer Support Specialist, excessive rule infractions, stealing, disruptive behavior, etc...) will result in the immediate removal from property.

If the member fails to immediately leave the House, Thriving United will be entitled to \$5,000.00 in liquidated damages for the disruption to business operations and the threats posed to the recovery and mental well-being of the other members remaining on site.
30. The security fee for membership is non-refundable.
31. Members that have had financial support to pay membership fee(s) and breaches contract for any reason will have their family or payee contacted by Thriving United, letting them know that you are no longer under our care.



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32. This Agreement is not a lease and does not create a landlord-tenant relationship of any kind. Member expressly acknowledges that this Agreement does not create any of the rights afforded to residential tenants pursuant to Chapter 92, Texas Property Code. Member expressly acknowledges that:

- a) Fees do not constitute rent
- b) If a member remains on Thriving United property without consent of a Program Facilitator, and after receiving oral or written notice to depart, member may be arrested for criminal trespass.
- c) The House may change the code without notice for any violation of this Agreement. The member must contact a Program Facilitator to seek a new code.
- d) A Program Facilitator may remove any member's non-exempt property for violation of the terms of this Agreement.

33. The policies and procedures are suggested guidelines and subject to change. Thriving United reserves the right at any time to:

- a) Modify the consequences and can move straight to a behavioral contract and/or dismissal as necessary and appropriate.
- b) Revoke the membership of any member who is deemed a threat to the sobriety and recovery of members at their sole discretion.

Revocation of membership will result in immediate removal from the property at the request of a Program Facilitator.

34. Pat Brown, Jennifer Priddy, Kelli Lax or Rhett Lax have full authority over Angel Home 6611 as needed at any time.



501 N. Loraine St.
Midland, Texas 79701
432-701-1489

Angel Haven 6611

Residential Membership Contract

I, _____, as a member of Angel Haven 4516, located at 4516 Robin Lane, Midland, Texas 79707 I agree to abide by the Policies and Procedures set forth for Angel Haven 4516 by Thriving United.

_____ I understand this contract is binding in that I requested a financial agreement by agreeing to pay and paying a security deposit and monthly membership fees.

_____ I understand that if I am delinquent in membership dues and have made no attempts to gain a reasonable budget assistance or communication for assistance from a Program Facilitator of Thriving United this may be reason for dismissal from the home.

_____ I understand that this financial contract compounds under said Angel Haven 4516 Policies and Procedures.

_____ I agree to pay the scheduled monthly membership dues of \$750 a month, in addition to a non-refundable \$150 deposit.

_____ I understand that failure to meet requirements of the Policies and Procedures of Angel Haven 4516, I will have 72-hours to remove myself and personals from Angel Haven 4516 property for breach of contract.

_____ I understand that if I am found to be using alcohol or drugs of any type, I will be expelled from the house immediately.

_____ I understand that if I am found to be in violation of house rules by a Program Facilitator, including but not limited to non-payment of membership fees, disruptive behavior, I can be expelled from the house immediately by a Program Facilitator of Thriving United.

_____ I understand that I am expected to have a recovery plan that has been discussed with a Program Facilitator or Peer Support Specialist and that staying on my personal recovery plan is part of what is required to live in this home.

_____ I understand and agree to the following terms should I be asked to leave the house for violation of this agreement:

- Personal items will be removed from the property and the area around the property within 72 hours.
- If personal items are not removed from the property within 30 days of my departure all of these items will be donated to charity on the 31st day.



501 N. Loraine St.
Midland, Texas 79701
432-701-1489

Signature of House Member Date

Printed Name of House Member

Signature of Program Facilitator Date

Printed Name of Program Facilitator



**Zone Change/Planned District
Amendment/Site Plan Approval**

Project Number: Z-20-0177

Case Number: _____

Applicant (if acting as Agent, see affidavit on page 2) Printed Name: <u>Patrick Brown</u>		Phone (432) <u>557-6352</u>	
Address <u>212 Bayberry Pkwy</u>		Email <u>PatBrown@thrivingunital.org</u>	
City <u>Midland</u>	State <u>TX</u>	Zip <u>79705</u>	

Property Owner Printed Name: <u>Cathy and Larry Stasney</u>		Phone (432) <u>528-6333</u>	
Address <u>6611 Elkins Road</u>		Email <u>cathystasney@aol.com</u>	
City <u>Midland</u>	State <u>TX</u>	Zip <u>79705</u>	

Representative (if different from Applicant or Property Owner) Firm: _____ Printed Name: _____		Phone () _____	
Address _____		Email _____	
City _____	State _____	Zip _____	

Street Address: 6611 Elkins Road

Legal Description
Lot: 2 & 3 Block: 1 Subdivision: Jaden Kate

Current Zoning: <u>AE</u>	Proposed Zone: <u>Planned Development District</u> <small>(List by tracts if more than one district is requested)</small>
----------------------------------	---

Reason for Zone Change Request: Multifamily Housing

Present Use of Property: AE

Proposed Use of Property: Planned Housing Development

How would this zone change affect the public health, safety and welfare? No negative affect. Provide improved living conditions for the residents.

Describe how conditions affecting the property have changed since present zoning designation: The neighborhood has many more commercial entities.

Submittal and Fees
Items to be submitted with this application form:

- Application Fee – Payable to the 'City of Midland'
- Dimensioned Site Plan
- Digital Copies of Site Plan (PDF/JPEG)

Signatures	
Applicant (signature): <u>Patrick Brown</u>	Date: <u>3-13-20</u>
Applicant (printed): <u>Patrick, A. Brown</u>	
Property Owner (signature): <u>Cathy Stasny & Garry</u>	Date: <u>3-13-20</u>
Property Owner (printed): <u>Cathy and Garry Stasny</u>	
<p>The Specific Use Designation shall be considered officially received in the Planning office <u>only</u> when it has been submitted in <u>full compliance</u> with the provisions of Section 212 of the Texas Local Government Code and the Zoning Code of Ordinances of the City of Midland and when such required items for the application are also received.</p> <p>All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.</p>	

If an agent is authorized by the property owner to file and execute the application on behalf of the property owner, the agent must complete the affidavit below.

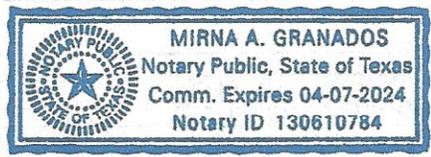
STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, on this day personally appeared Patrick Brown who, being by me duly sworn, upon oath says: That (s)he is authorized by Cathy and Garry Stasny the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Patrick Brown
Authorized Agent (signature)

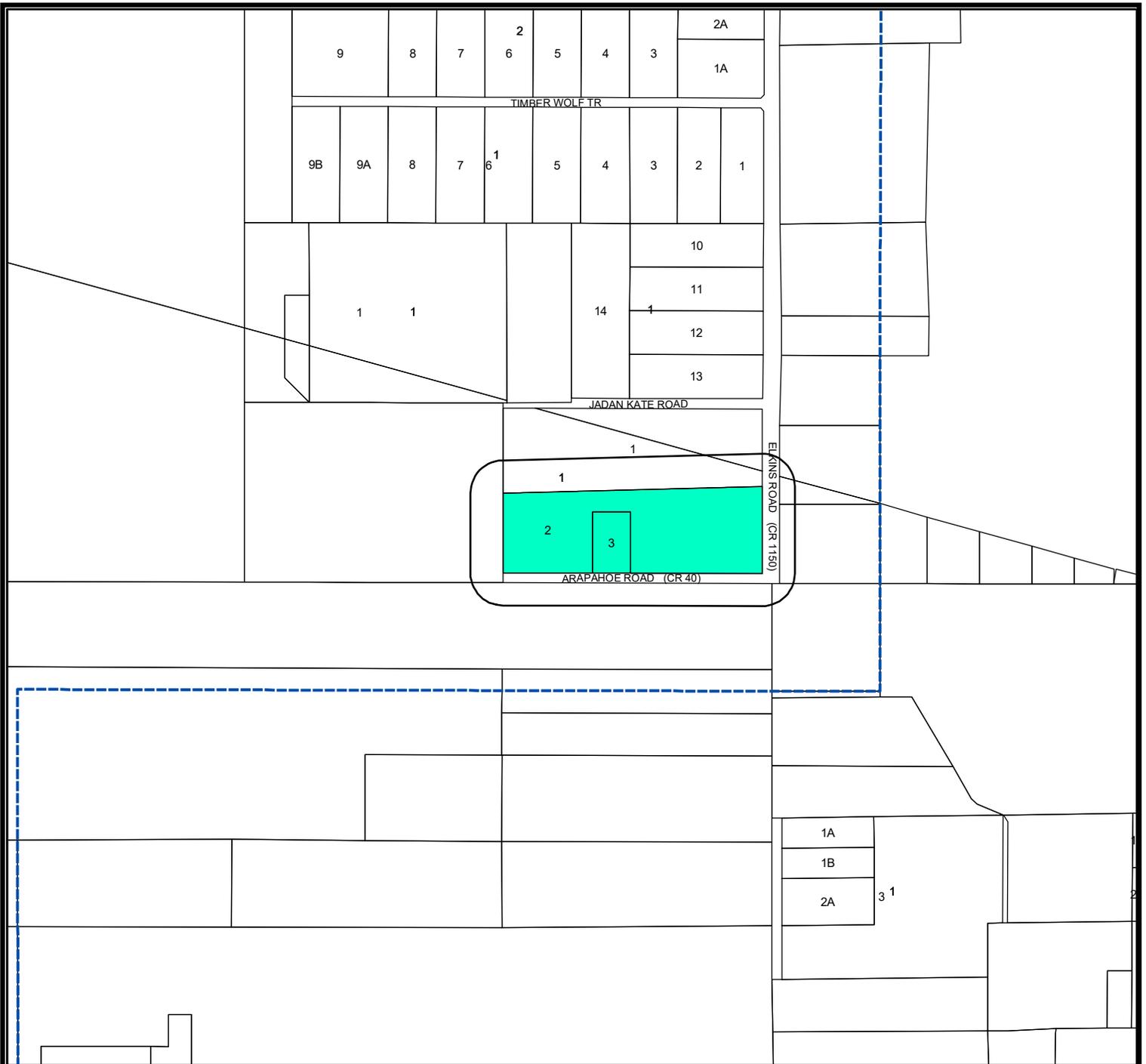
Subscribed and sworn to before me, this 13 day of March, 2020, to certify which witness my hand and seal of office.

Mirna A. Granados
NOTARY PUBLIC, MIDLAND COUNTY, TEXAS



FOR OFFICE USE ONLY	
<input type="checkbox"/> Property Owner Authorization	<input type="checkbox"/> Dimensioned Site Plan
<input type="checkbox"/> Application Fee	<input type="checkbox"/> Site Plan in Digital Format (PDF/JPEG)
Check # _____	
Received By: _____	Date: _____

****Application will not be considered for scheduling until reviewed by a planner.****



LOCATION MAP

Z-20-0177

Scale: 1" = 250'

Consider a request by Patrick Brown, for a zone change from AE, Agricultural Estate District, to a PD, Planned Development District for a Housing Development on Lots 2 and 3, Block 1, Jaden Kate Addition, City and County of Midland, Texas.

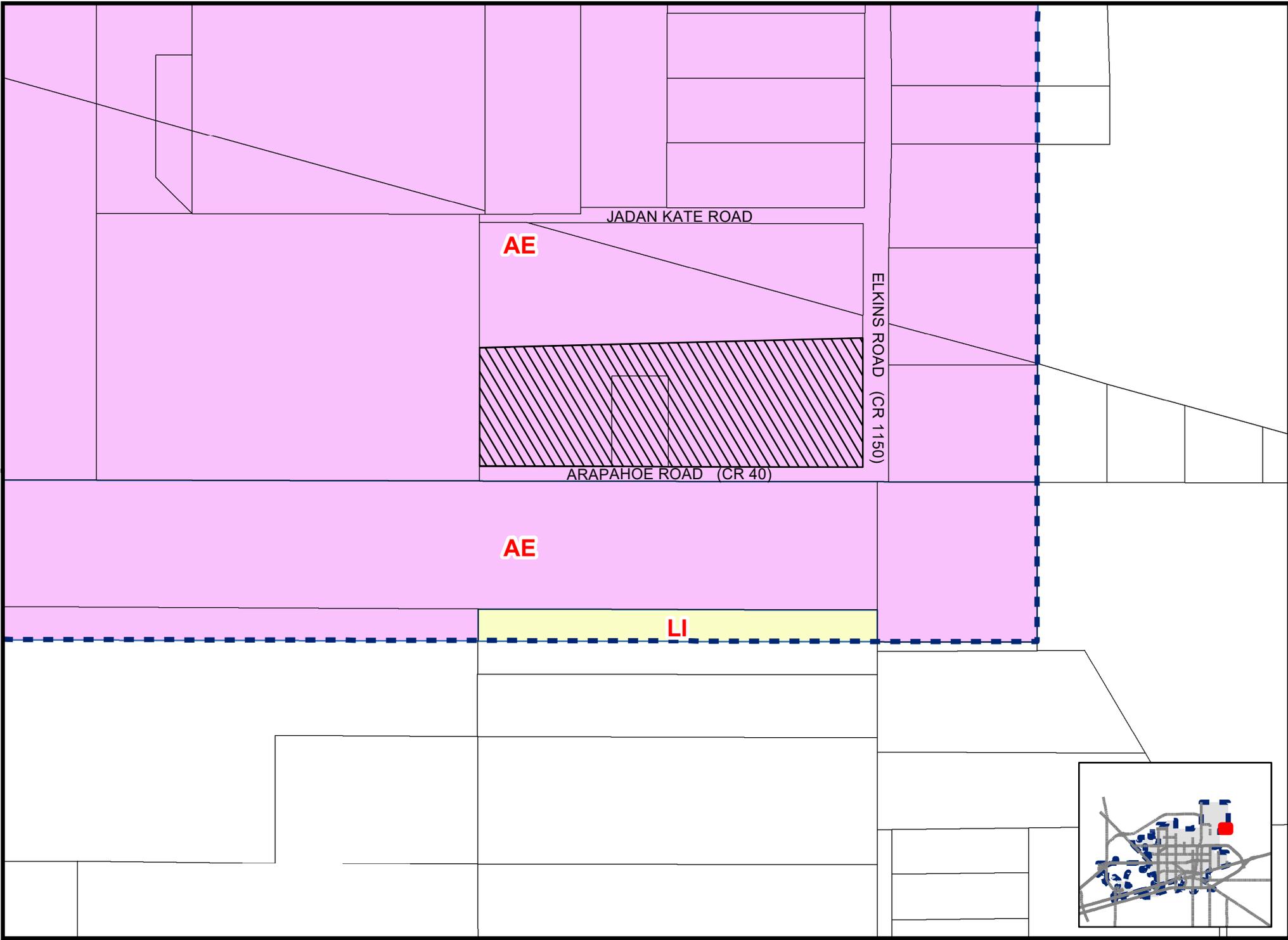
Generally located on northwest corner of the intersection of N. Elkins Road and Arapahoe Road. (Council District 1)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



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 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.













Planning and Zoning Commission

Approved for
Agenda:
Cristina Odenborg

MEETING DATE: 4/20/2020

TO: PLANNING AND ZONING COMMISSION

FROM: Glenda Arroyo-Cruz, Planner

SUBJECT: Hold a public hearing and consider a request by Maverick Engineering for a zone change from a PD, Planned District for an Office Center to PD, Planned Development District for a Housing Development on Lot 2A, Block 1, Corporate Plaza, Section 20, City and County of Midland, Texas. (Generally located on the north side of Corporate Drive, approximately 550-feet east of North Big Spring. Council District 2)

Recommended Planning and Zoning Commission Action:

Approve Deny Direction/Informational

Details of Request:

The applicant, Maverick Engineering, is requesting approval of a zone change for a Multi-Family dwelling development.

Current Zoning:

PD, Planned District for an Office Center. (Ordinance No. 8007)

Surrounding Zoning and Land Use:

The properties to the north are zoned, O-2, Office District and the location of vacant land. The property to east is zoned PD, Planned District for an Office Center and the location of vacant land. The property to the south is zoned PD, Planned District for an Office Center and the location of a medical facility. The properties to the west are zoned PD, Planned District for an Office Center and the location of a funeral home and Oil and Gas office building.

Analysis:

The property is located at 205 Corporate Drive and is currently vacant. This lot is currently regulated by Ordinance No. 8007 with an underlying zoning of O-1, Office District and was established March of 2001. The applicant is requesting a zone change to a PD, Planned Development District for a Housing Development to construct a 101,295 square foot Multi-Family apartment complex, on a 3.958-acre tract of land. The total amount of dwelling units proposed is 124 units, which is approximately 31.33 units per acre.

The site plan provided hereto as Exhibit "A" illustrates the proposed development for the property. As stated in the *City of Midland: Zoning Ordinance, Section 3, Zoning Districts, 3.13. MF-22, Multiple-Family Dwelling District, D. Development Standards, 6. Private Recreation Areas,*

a. Recreation area required.

- i. All apartment complexes shall have at least one recreation area, in a location free of traffic hazards, easily accessible to all complex residents, and centrally located where topography permits.*

b. Recreation Space Requirement.

- i. Not less than eight percent of the gross complex shall be devoted to recreational facilities, generally in a central location. In large complexes (two acres or larger) these maybe decentralized.*

The recreation space required for this complex would be approximately 8,103 square feet. The development is proposing to include approximately a 6,651 square foot clubhouse located towards the front of the property. Additional amenities include a swimming pool, pavilion with a BBQ area, furnished community room and theater room. The location of said amenities are centrally located within the apartment complex and would appear accessible to future residents.

Per the zoning ordinance, Multi-Family uses must include storage areas in all apartment units. As stated in the *City of Midland: Zoning Ordinance, Section 3, Zoning Districts, 3.13. MF-22, Multiple-Family Dwelling District, D. Development Standards, 5. Storage Uses,*

Every apartment unit shall have an enclosed storage area of not less than 30 square feet of Floor Area, eight feet high, exclusive of interior closet space.

The development is proposing storage areas that range from approximately 10 square feet to 18 square feet in size. Studios will not have storage areas as shown on the plans provided. The proposed storage areas would not meet the minimum required; therefore, it would not meet the minimum required standards for storage areas as stated per this section of the code.

Parking requirements for Multi-Family uses should be calculated as stated per the *City of Midland: Zoning Ordinance, Section 6, Zoning and Development regulations, Off-Street Parking and Loading Requirements, D. Parking Space schedule, Multi-Family uses,*

2. Off-street parking shall be provided to meet the requirements of the residents and their guests in each apartment project according to the following standards:

- a. One space for each studio unit (i.e., an apartment containing only one main room)*
- b. One and one-half spaces for each one-bedroom unit,*
- c. Two spaces for each unit with two bedrooms,*
- d. Two and one-half spaces for each unit with three or more bedrooms, plus one additional space for each four units in development.*

The required parking spaces for this complex, based on the breakdown of each apartment unit tabulation shown on Exhibit "A", would be 213 parking spaces. The total amount of parking spaces being proposed and listed on Exhibit "A" is 192 parking spaces. There will be a total of 138 uncovered parking spaces, ten (10) carport spaces, eleven (11) clubhouse spaces, seven (7) will be standard ADA and two (2) will be Van ADA. The parking spaces proposed would not meet the minimum required; therefore, it would not meet the minimum required parking spaces as stated per this section of the code.

Additionally, as stated in the *City of Midland: Zoning Ordinance, Section 3, Zoning Districts, 3.13. MF-22, Multiple-Family Dwelling District, D. Development Standards, 3. Garages,*

A minimum of 25 percent of the total number of units in the complex shall have a one-car enclosed garage, 240 square feet minimum, attached or detached, per dwelling unit.

The required garage units for this complex would be 31 enclosed garage units. The development is proposing twenty four (24) garage units; therefore, it would not meet the minimum required garage units as stated per this section of the code.

The elevations provided illustrates the apartment complex will be a three (3) story building. It has a proposed height of 45 feet, including the pitched roof, which meets the maximum height allowed per the MF-22, Multiple Family Dwelling District.

All proposed setbacks, minimum lot area, minimum floor areas for apartment units and building area coverage meet the minimum required stated in the MF-22, Multiple-Family Dwelling District. Additionally, the development will be required to adhere to all additional regulations described in *the City of Midland: Zoning Ordinance, Section 6. Zoning Development Regulations* and with the *City of Midland, Code of ordinances, Chapter 9. -Landscape Regulations*

This proposed zone change has been circulated to and reviewed by respective City departments and their comments, conditions, and requirements are as follows:

Engineering: (Approved)

No objection to zone change.

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

Fire: (Approved)

No objections.

Building: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2017 NEC requirements, the 2015 International Fire Codes, local city ordinances, zoning requirements, established setbacks, and floodplain requirements if necessary.

Code Compliance: (Approved)

No Oil or Gas wells identified within 500 ft. permitted well radius or in the 135 ft. non-permitted well radius of location on plat.

Transportation: (Approved)

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

No objection to zone change.

Planning:

Per the Future Land Use map, this location is designated as Urban-High. Potential zoning for this area includes Multi-Family Dwelling District; therefore, this zone change is in compliance with the Future Land Use plan. The mix of complementary uses within this area is encouraged for the commodity of the public. Economic performance can be improved with proper design and attention to traffic circulation and will not disrupt the characteristics of the area.

Staff recommends approval of this request for approval of a zone change subject to condition A through C.

Conditions:

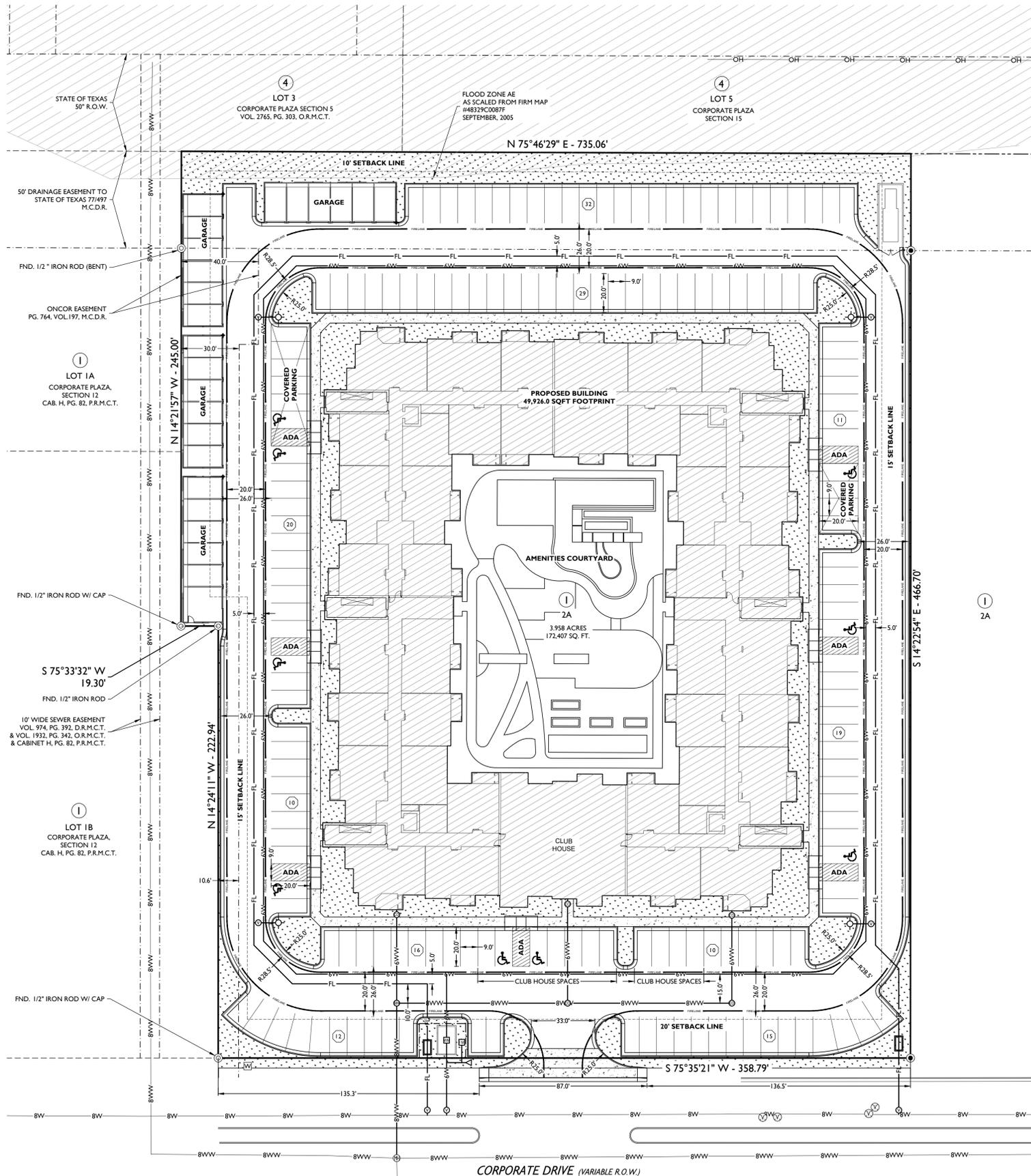
- A. That the use and development of this property shall conform to the regulations of the MF-22, Multiple-Family Dwelling District, except for as stated below.**
- B. That the development of this property shall significantly conform to the site plan attached hereto and incorporated herein as Exhibit "A".**
- C. That the landscaping shall conform to the regulations set forth in Title XI, Chapter of the City Code.**

Letters of Objection:

As of April 15, 2020, staff has not received any letters of objection.

Attachments:

Proposed Site Plan (Exhibit A)
Elevations
Apartment Unit Layouts
Building Floor Plans
Clubhouse Plans
Application
Maps
Ordinance No. 8007



DIMENSIONAL NOTE:

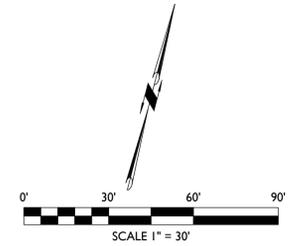
- DIMENSIONS SHOWN ARE TYPICALLY TO BACK OF CURB UNLESS NOTED OTHERWISE.
- SIDEWALKS WILL BE 5 FT. IN WIDTH UNLESS NOTED OTHERWISE.

LANDSCAPE NOTES:

- LANDSCAPING ELEMENTS SHOWN ON THIS EXHIBIT ARE FOR ILLUSTRATIVE PURPOSES ONLY, AND DOES NOT NECESSARILY REFLECT THE FINAL DESIGN LANDSCAPING.
- THE LANDSCAPE PLAN THAT WILL BE SUBMITTED FOR CITY APPROVAL WILL BE IN COMPLIANCE WITH CITY STANDARDS.

DEVELOPMENT NOTES:

- GENERAL:** SITE PLAN IS FOR A PROPOSED ± 101,295 SQUARE FOOT BUILDING LOCATED ON LOT 2A, BLOCK 1, CORPORATE PLAZA ADDITION, SECTION 21, CITY & COUNTY OF MIDLAND, TEXAS. THE SITE IS LOCATED NEAR THE INTERSECTION OF CORPORATE DRIVE AND EDWARDS STREET. THE DEVELOPMENT IS CURRENTLY ZONED AS A PLANNED DISTRICT.
- DEVELOPMENT:** THE DEVELOPMENT WILL CONSIST OF A SINGLE, THREE STORY STRUCTURE INTENDED FOR MULTI-FAMILY RESIDENTIAL USE.
- BUILDING HEIGHT:** THE STRUCTURE IS PLANNED TO BE THREE STORIES, WITH A MAXIMUM BUILDING HEIGHT OF 45'.
- ACCESS:** THE SITE IS PLANNED TO HAVE TWO (2) ACCESS POINTS, BOTH OFF OF CORPORATE DRIVE. BOTH ACCESS POINTS ARE PLANNED FOR BOTH INGRESS AND EGRESS.
- FIRE ACCESS:** ACCESS FOR FIRE TRUCKS WILL BE ALONG THE PROVIDED 26 FT. WIDE CORRIDOR WITH MINIMUM 28 FT. RADII THROUGHOUT.
- PARKING:** ON-SITE PARKING WILL BE PROVIDED WITH 192 PARKING SPACES. BUILDING CONTAINS 124 UNITS, OR 1.55 PARKING SPOTS PER UNIT. 192 SPACES INCLUDE 10 AS COVERED SPACES, 24 AS GARAGE SPACES, 7 AS STANDARD ADA SPACES, 2 AS VAN ACCESSIBLE ADA SPACES, 11 ARE CLUB HOUSE SPACES, AND 138 AS UNCOVERED SPACES.
- TRASH:** TRASH ENCLOSURES WILL BE IN COMPLIANCE WITH THE CITY OF MIDLAND REQUIREMENTS. ON-SITE TRASH COLLECTION WILL BE COLLECTED BY THE CITY OF MIDLAND UTILIZING SIDE LOADING TRUCKS FROM A SITE COMPACTION UNIT.
- UTILITIES:** PUBLIC UTILITIES ARE NOT PRESENT. NEW WATER & SEWER SERVICE TAPS WILL BE REQUIRED.
- DRAINAGE:** STORM WATER RUNOFF WILL BE IN COMPLIANCE WITH THE CURRENT APPROVED DRAINAGE PLAN ON FILE.
- AMENITIES:** AMENITIES WILL INCLUDE A 6,651 SQFT CLUBHOUSE, SWIMMING POOL, PAVILION WITH BBQ, FURNISHED COMMUNITY ROOM, FURNISHED FITNESS ROOM, AND THEATER ROOM.



LEGEND

- DENOTES SET 1/2-INCH IRON ROD
- ⊙ DENOTES FOUND MONUMENT AS NOTED
- ⊕ DENOTES EXISTING MANHOLE
- ⊖ DENOTES EXISTING POWER POLE
- ⊗ DENOTES EXISTING WATER METER
- ⊘ DENOTES EXISTING WATER VALVE
- DENOTES BOUNDARY LINE
- - - DENOTES BOUNDARY LINE
- · - · - DENOTES EXISTING LOTS
- · - · - DENOTES EXISTING EASEMENT LINE
- · - · - DENOTES EXISTING OVERHEAD ELECTRIC LINE
- · - · - DENOTES EXISTING 8" WATERMAIN
- · - · - DENOTES EXISTING 8" WASTEWATER LINE
- ⊕ DENOTES PROPOSED MANHOLE
- ⊖ DENOTES PROPOSED CLEANOUT
- ⊗ DENOTES PROPOSED FIRE HYDRANT
- ⊘ DENOTES PROPOSED WATER VALVE
- ⊙ DENOTES PROPOSED WATER METER
- ⊙ DENOTES PROPOSED CAP
- ⊙ DENOTES PROPOSED IRRIGATION METER
- DENOTES PROPOSED LOT LINE
- · - · - DENOTES PROPOSED EASEMENT
- · - · - DENOTES PROPOSED 2" WATERMAIN
- · - · - DENOTES PROPOSED 6" WATERMAIN
- · - · - DENOTES PROPOSED 6" FIRE LINE
- · - · - DENOTES PROPOSED 6" WASTE WATER LINE
- · - · - DENOTES PROPOSED 8" WASTE WATER LINE
- · - · - DENOTES PROPOSED FIRE LANE
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED FLOOD ZONE AE
- DENOTES PROPOSED LANDSCAPE
- (192) DENOTES PARKING SPACE COUNT



VICINITY MAP
N.T.S.

FEMA FIRM NOTES:

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM	ZONE	BASE FLOOD ELEVATION
48329	87	F	09/16/2005	X	N/A
48329	87	F	09/16/2005	AE	2782' & 2780'

MAVERICK
ENGINEERING / SURVEY / WATER RESOURCES
1909 W Wall St., Ste. "C", Midland, TX 79701
ENGINEER FIRM #: E-15089
SURVEY FIRM #: 10194514
Tel: (432) 262-0989 Fax: (432) 262-0989
www.Maverick-Eng.com



DATE	BY	REVISIONS
APRIL		

DRAWN BY:	TDE
CHECKED BY: <td>MJD</td>	MJD
APPROVED BY: <td>ALM</td>	ALM
DATE: <td>04/16/2020</td>	04/16/2020
JOB: <td>200034</td>	200034

ZONING SITE PLAN
MERRITT EDGE
BEING LOT 2A, BLOCK 01,
CORPORATE PLAZA ADDITION, SECTION 21,
CITY OF MIDLAND, MIDLAND COUNTY, TEXAS

PRELIMINARY REVIEW:

THESE PLANS ARE RELEASED UNDER THE SEAL OF ANDREW L. MELLEN, P.E. #108372 AND MAVERICK ENGINEERING (FIRM # E-15089) ON THIS DAY 04/16/2020, FOR THE PURPOSES OF INTERIM/PRELIMINARY REVIEW. THEY SHALL NOT BE USED FOR THE PURPOSES OF CONSTRUCTION.

SP-01



MATERIALS	
LAP SIDING:	66%
STONE:	34%
TOTAL:	100%

BUILDING TYPE 'A' - REAR ELEVATION

1/32"=1'-0"



MATERIALS	
LAP SIDING:	61%
STONE:	39%
TOTAL:	100%

BUILDING TYPE 'A' - FRONT ELEVATION

1/32"=1'-0"



MATERIALS	
LAP SIDING:	62%
STONE:	38%
TOTAL:	100%

BUILDING TYPE 'A' - LEFT ELEVATION

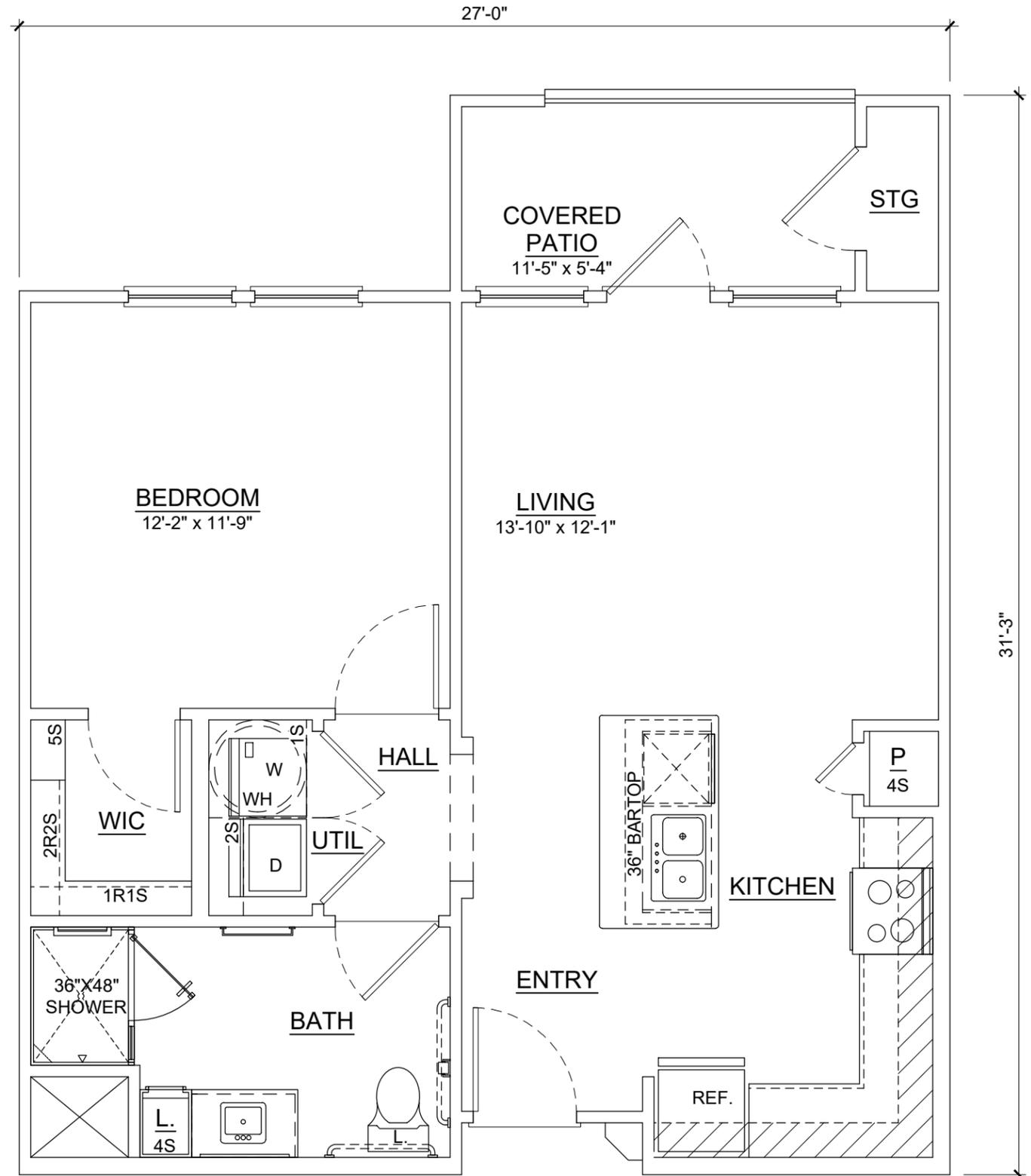
1/32"=1'-0"



MATERIALS	
LAP SIDING:	63%
STONE:	37%
TOTAL:	100%

BUILDING TYPE 'A' - RIGHT ELEVATION

1/32"=1'-0"



- UNIT AMENITIES**
- NINE FOOT CEILINGS
 - COVERED PATIOS
 - SELF CLEANING OVENS
 - REFRIGERATOR WITH ICE MAKER
 - MICROWAVE OVEN
 - 30% MASONRY ON EXTERIOR
 - R15 WALLS/R30 CEILINGS
 - STORAGE CLOSET GREATER THAN 10 S.F.

UNIT A1 - ONE BEDROOM, ONE BATH

SCALE 1/4" = 1' - 0"

682 S.F.

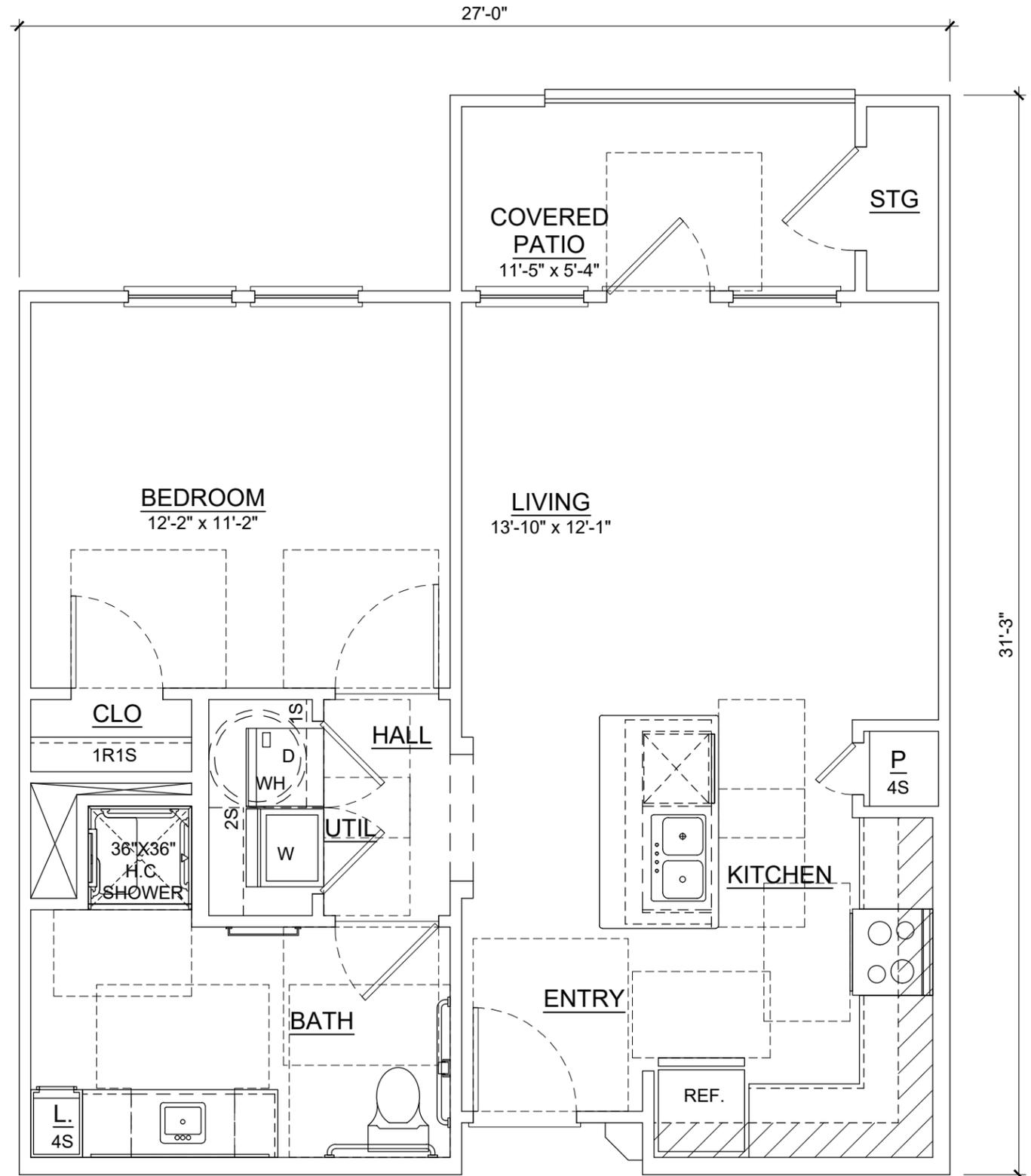
PATIO = 66 S.F.
STORAGE = 15 S.F.

**MERRITT EDGE
MIDLAND, TEXAS**

A2.0

UNIT A1

Copyright © 2020



UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

UNIT A1 HC - ONE BEDROOM, ONE BATH

SCALE 1/4" = 1' - 0"

682 S.F.

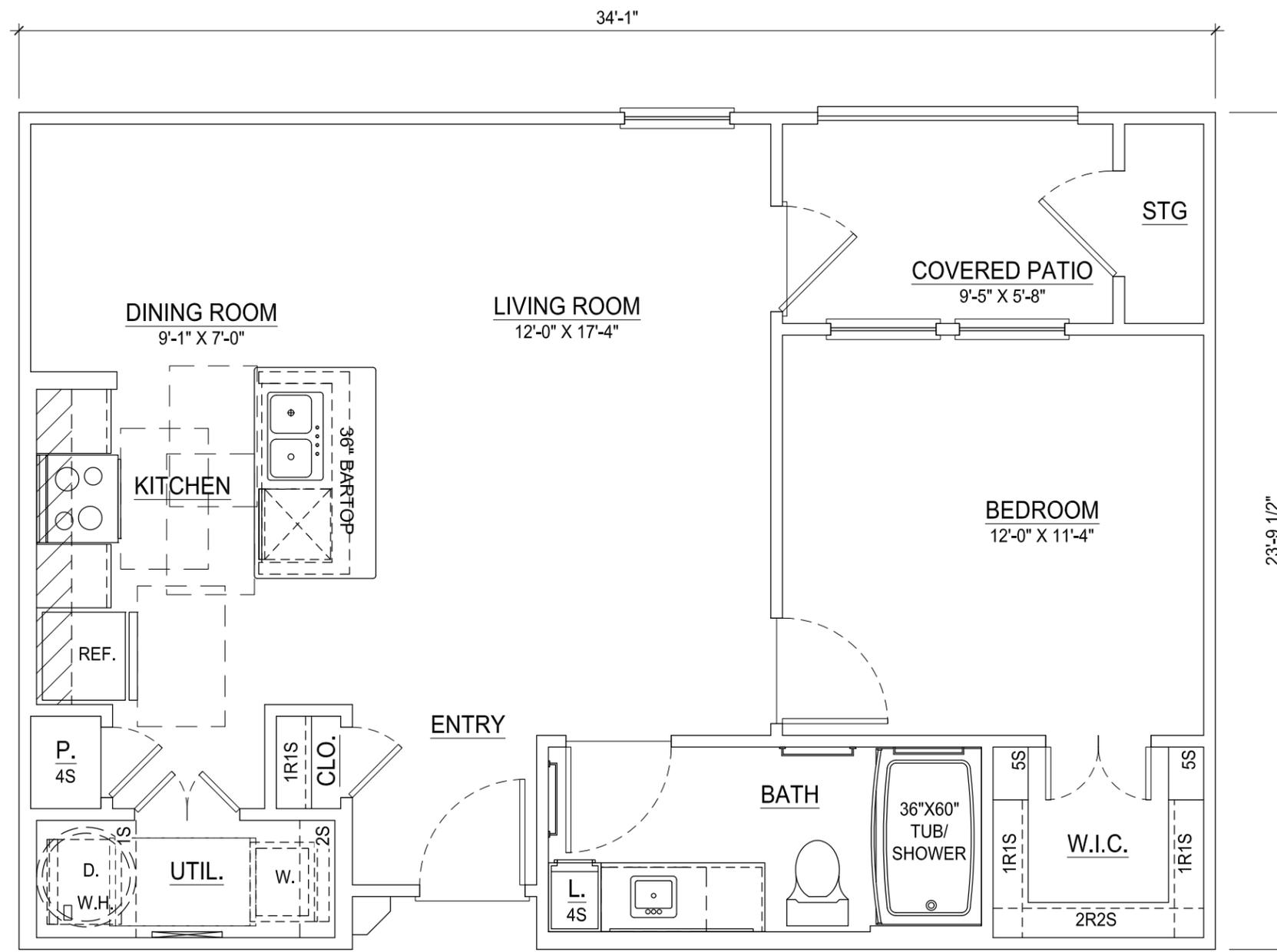
PATIO = 66 S.F.
STORAGE = 15 S.F.

**MERRITT EDGE
MIDLAND, TEXAS**

A2.1

UNIT A1 HC

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UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

A2 UNIT - ONE BEDROOM, ONE BATH

SCALE 1/4" = 1' - 0"

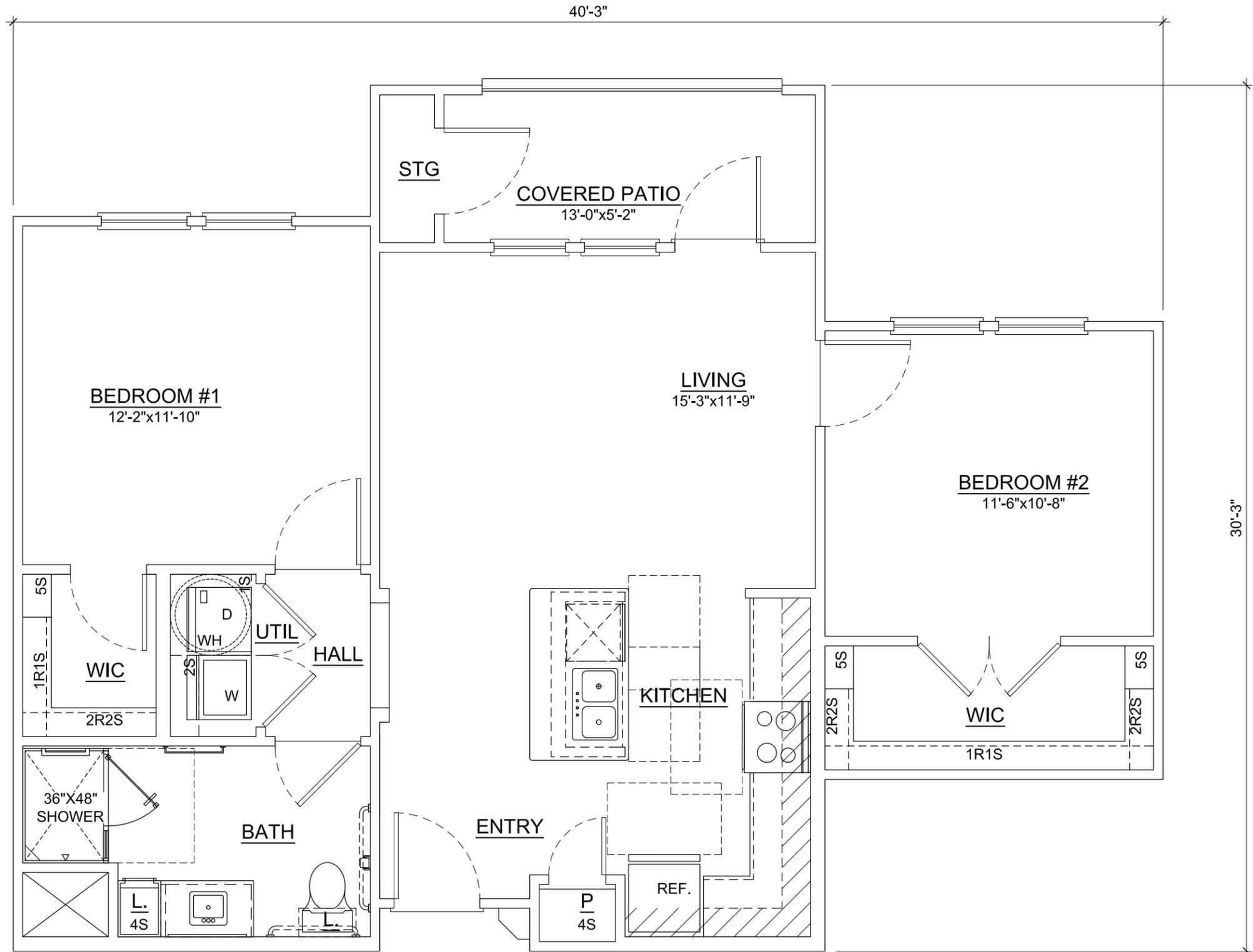
720 S.F.

PATIO = 65 S.F.
STORAGE = 12 S.F.

A2.2

UNIT A2

Copyright © 2020



UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

UNIT B1 - TWO BEDROOM, ONE BATH

SCALE 1/4" = 1' - 0"

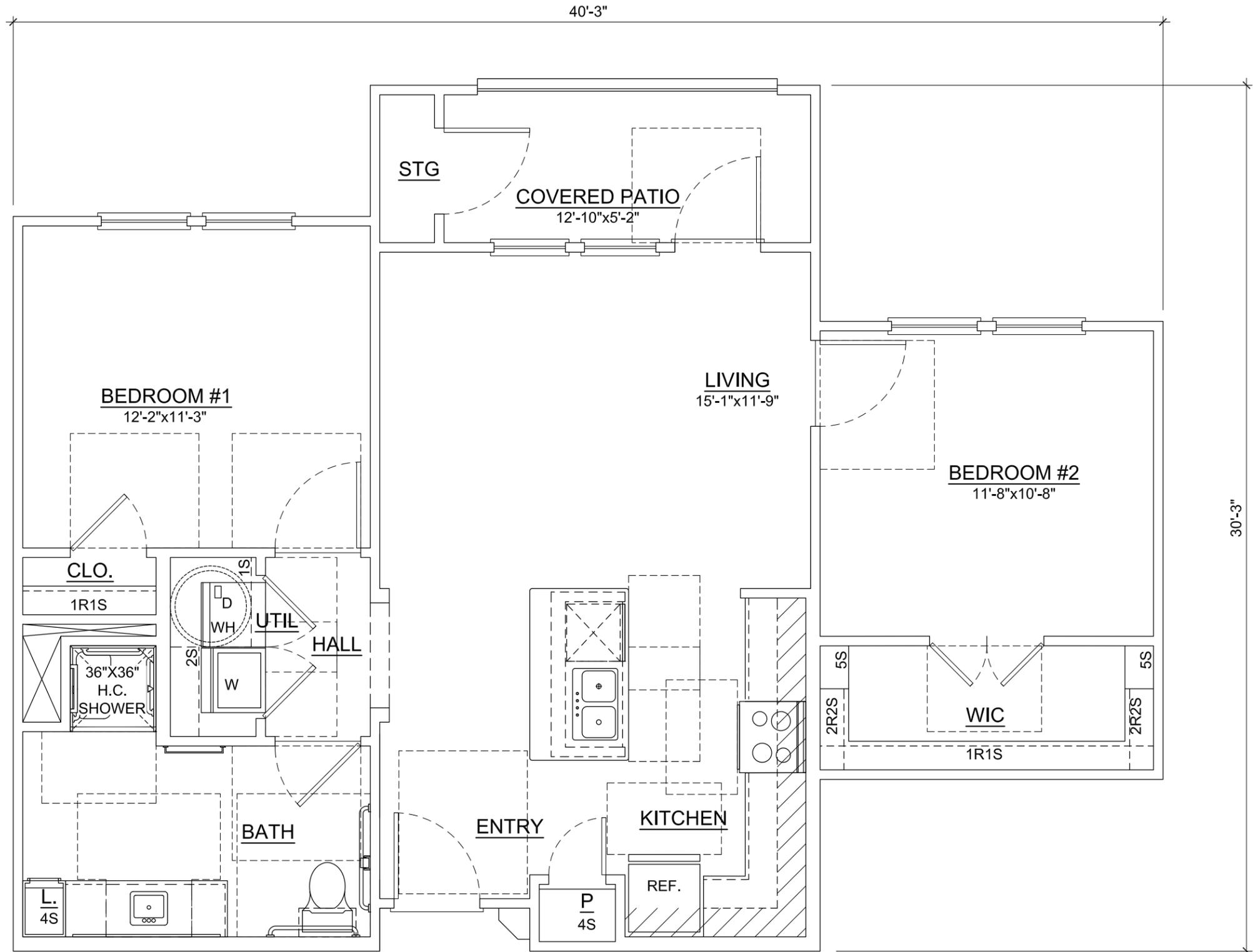
896 S.F.

PATIO = 53 S.F.
STORAGE = 14 S.F.

A2.3

UNIT B1

Copyright © 2020



UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S F

UNIT B1 HC - TWO BEDROOM, ONE BATH

896 S.F.

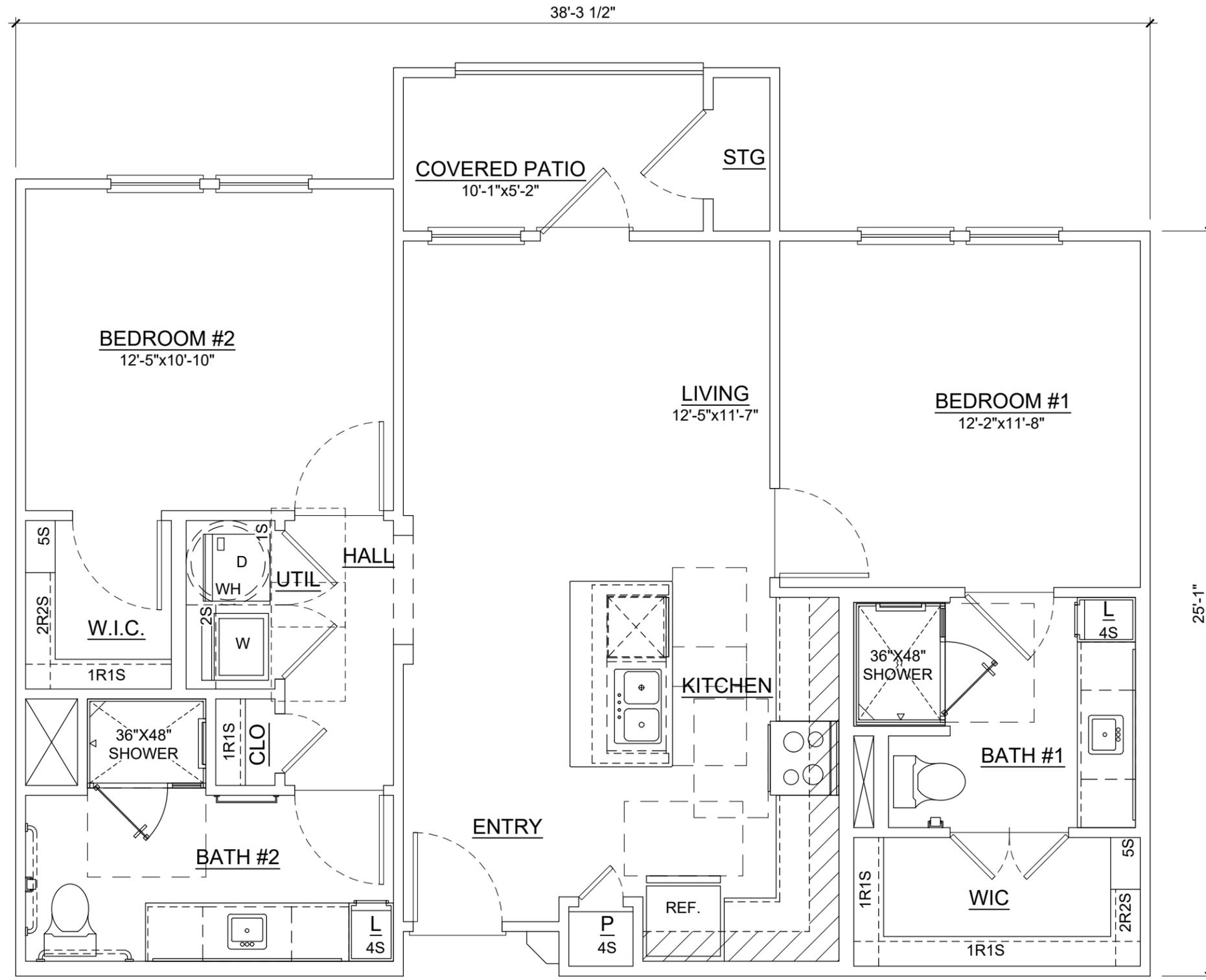
SCALE 1/4" = 1' - 0"

PATIO = 52 S.F.
STORAGE = 14 S.F.

A2.4

UNIT B1 HC

Copyright © 2020



UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

UNIT B2 - TWO BEDROOM, TWO BATH

SCALE 1/4" = 1' - 0"

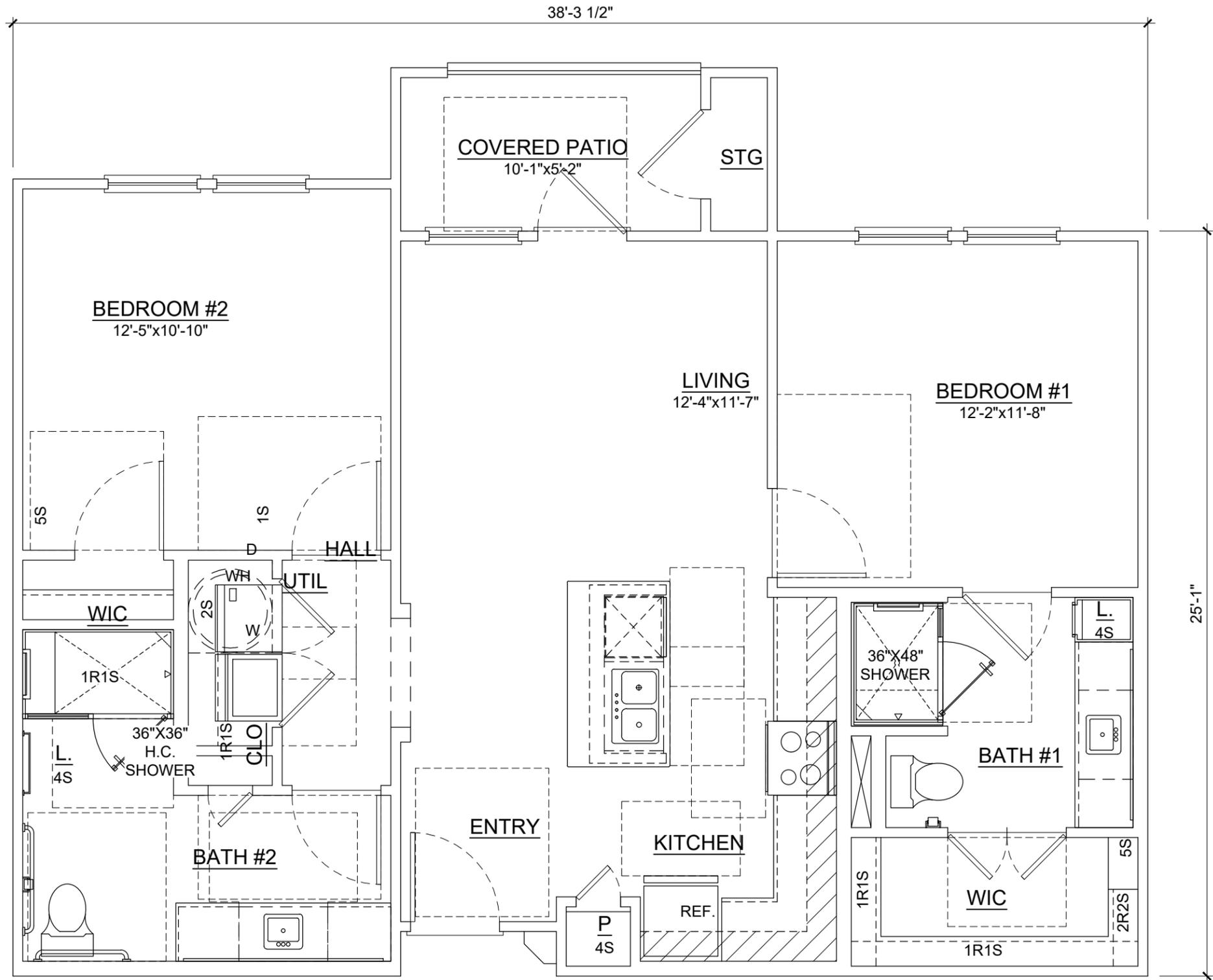
975 S.F.

PATIO = 118 S.F.
STORAGE = 18 S.F.

A2.5

UNIT B2

Copyright © 2020



UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

UNIT B2 HC - TWO BEDROOM, TWO BATH

SCALE 1/4" = 1' - 0"

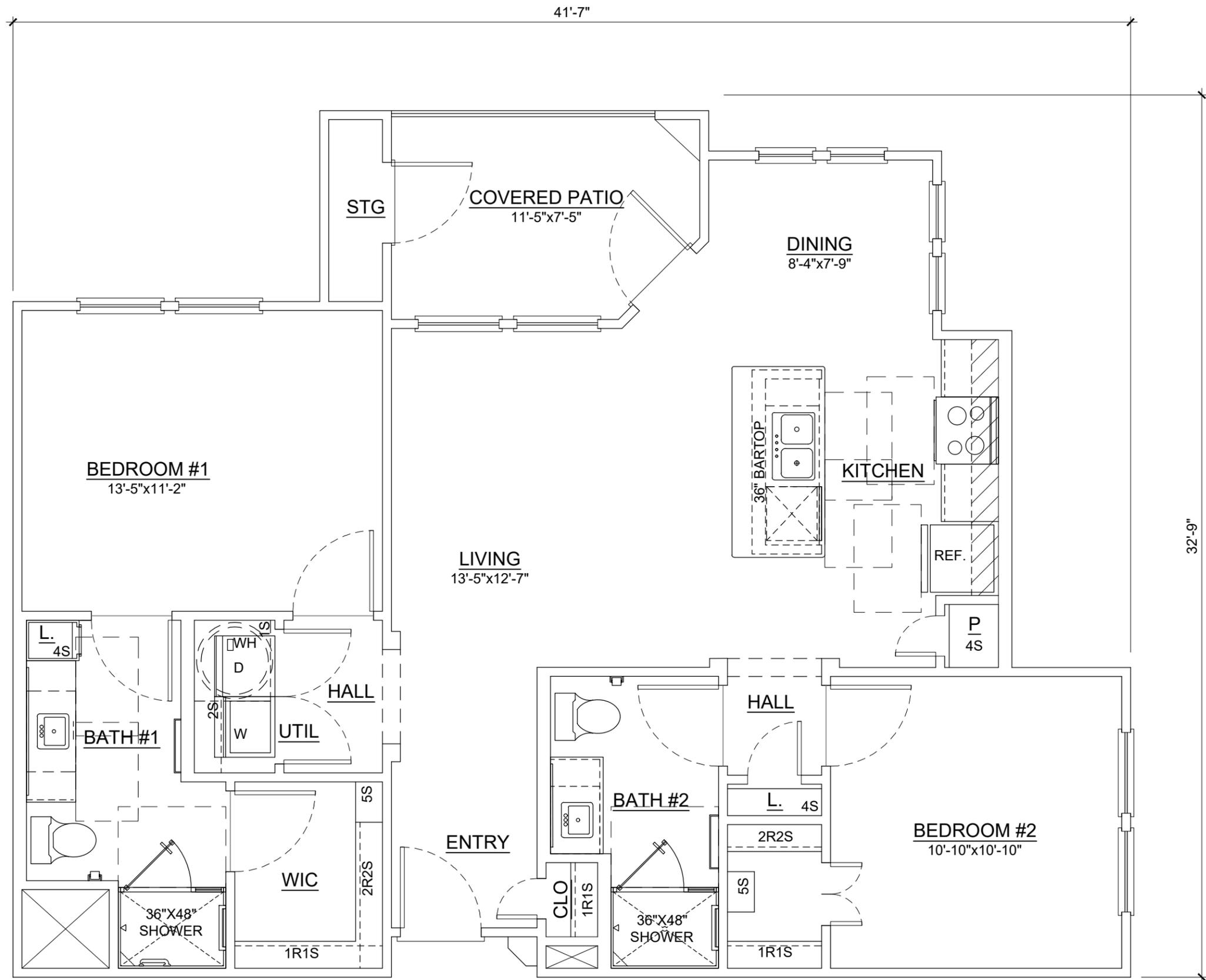
975 S.F.

PATIO = 118 S.F.
STORAGE = 18 S.F.

A2.6

UNIT B2 HC

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UNIT AMENITIES

- NINE FOOT CEILINGS
- COVERED PATIOS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS
- STORAGE CLOSET GREATER THAN 10 S.F.

UNIT B3 CORNER UNIT - TWO BEDROOM, TWO BATH

1020 S.F.

SCALE 1/4" = 1' - 0"

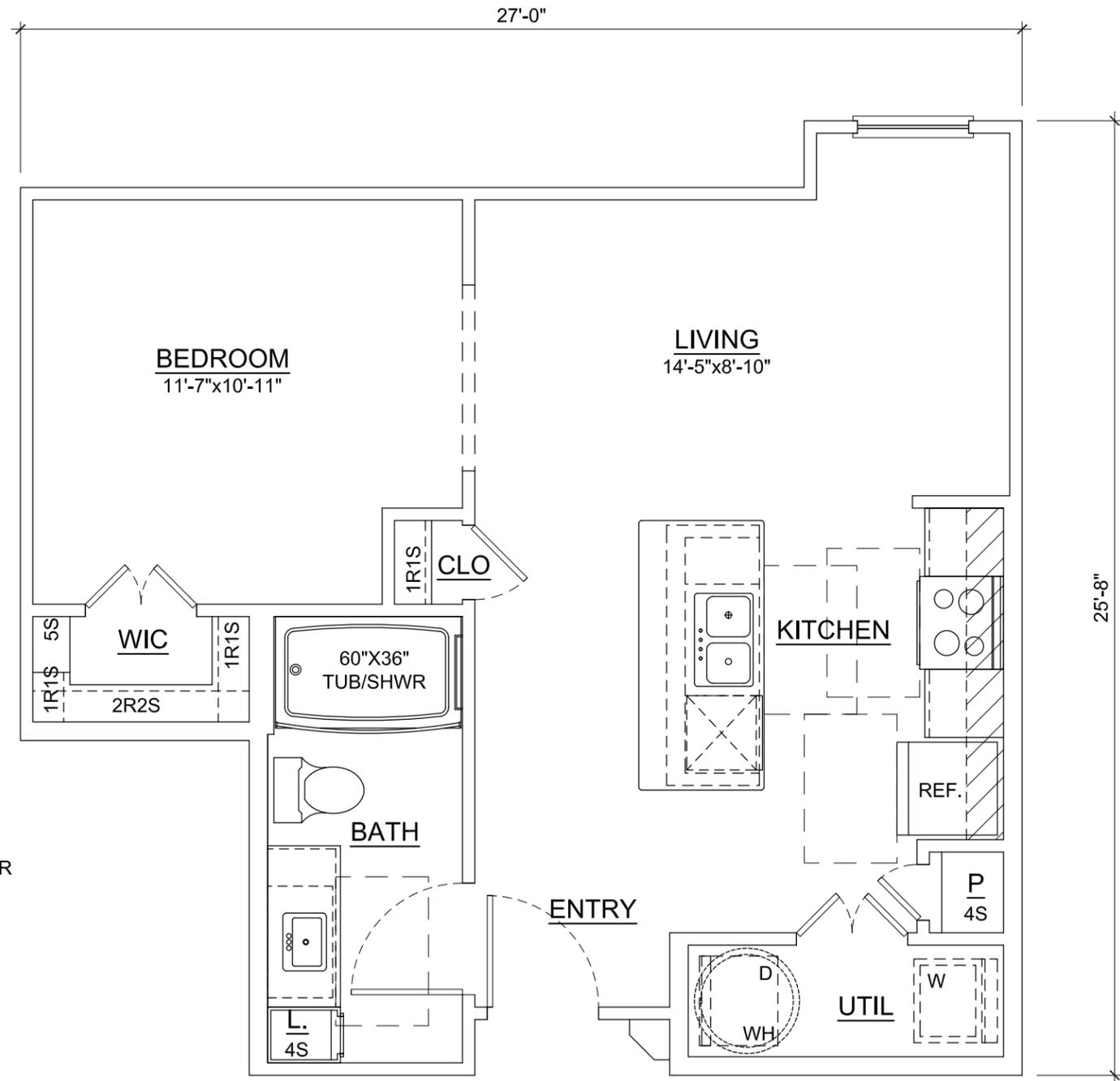
PATIO = 118 S.F.
STORAGE = 18 S.F.

A2.7

UNIT B3

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- NINE FOOT CEILINGS
- SELF CLEANING OVENS
- REFRIGERATOR WITH ICE MAKER
- MICROWAVE OVEN
- 30% MASONRY ON EXTERIOR
- R15 WALLS/R30 CEILINGS



UNIT E1 - STUDIO, ONE BATH

SCALE 1/4" = 1' - 0"

600 S.F.

PATIO = 0 S.F.
STORAGE = 0 S.F.

A2.8

UNIT E1

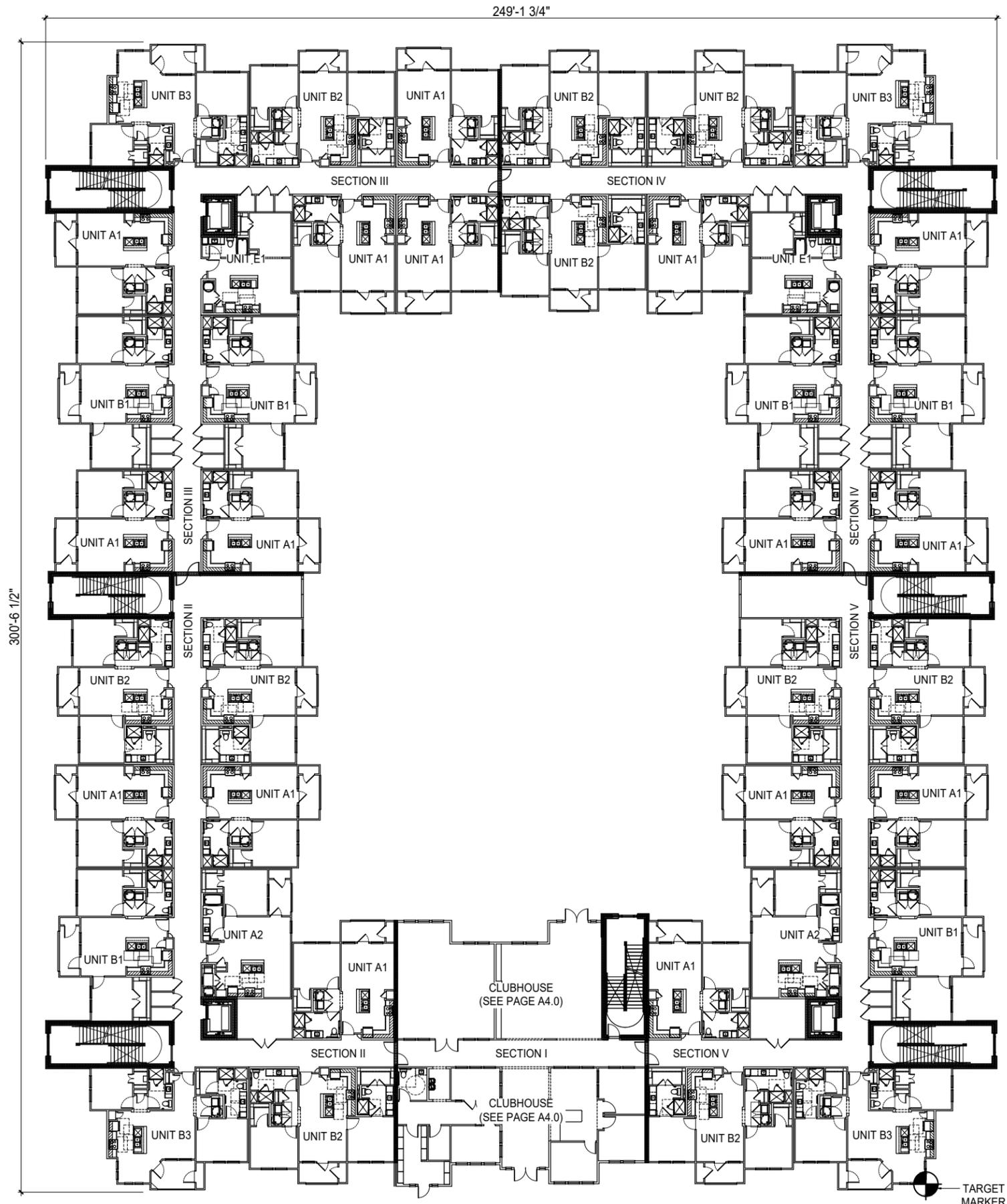
FIRST FLOOR S.F. TOTALS
SECTION I - REFER TO A4.0

SECTION II
 -NET RENTABLE AREA 6,034 S.F.
 -COMMON AREA 2,382 S.F.
 -STAIRWAYS, BREEZEWAYS, AND CORRIDORS 1,877 S.F.
 -PRIVATE COVERED PATIO 536 S.F.
 -PRIVATE OUTSIDE STORAGE 94 S.F.

SECTION III
 -NET RENTABLE AREA 8,479 S.F.
 -COMMON AREA 1,791 S.F.
 -STAIRWAYS, BREEZEWAYS, AND CORRIDORS 1,601 S.F.
 -PRIVATE COVERED PATIO 626 S.F.
 -PRIVATE OUTSIDE STORAGE 106 S.F.

SECTION IV
 -NET RENTABLE AREA 9,254 S.F.
 -COMMON AREA 1,791 S.F.
 -STAIRWAYS, BREEZEWAYS, AND CORRIDORS 1,870 S.F.
 -PRIVATE COVERED PATIO 610 S.F.
 -PRIVATE OUTSIDE STORAGE 102 S.F.

SECTION V
 -NET RENTABLE AREA 6,034 S.F.
 -COMMON AREA 2,382 S.F.
 -STAIRWAYS, BREEZEWAYS, AND CORRIDORS 1,877 S.F.
 -PRIVATE COVERED PATIO 536 S.F.
 -PRIVATE OUTSIDE STORAGE 94 S.F.



BUILDING TYPE 'A' - FIRST FLOOR PLAN

1/32"=1'-0"

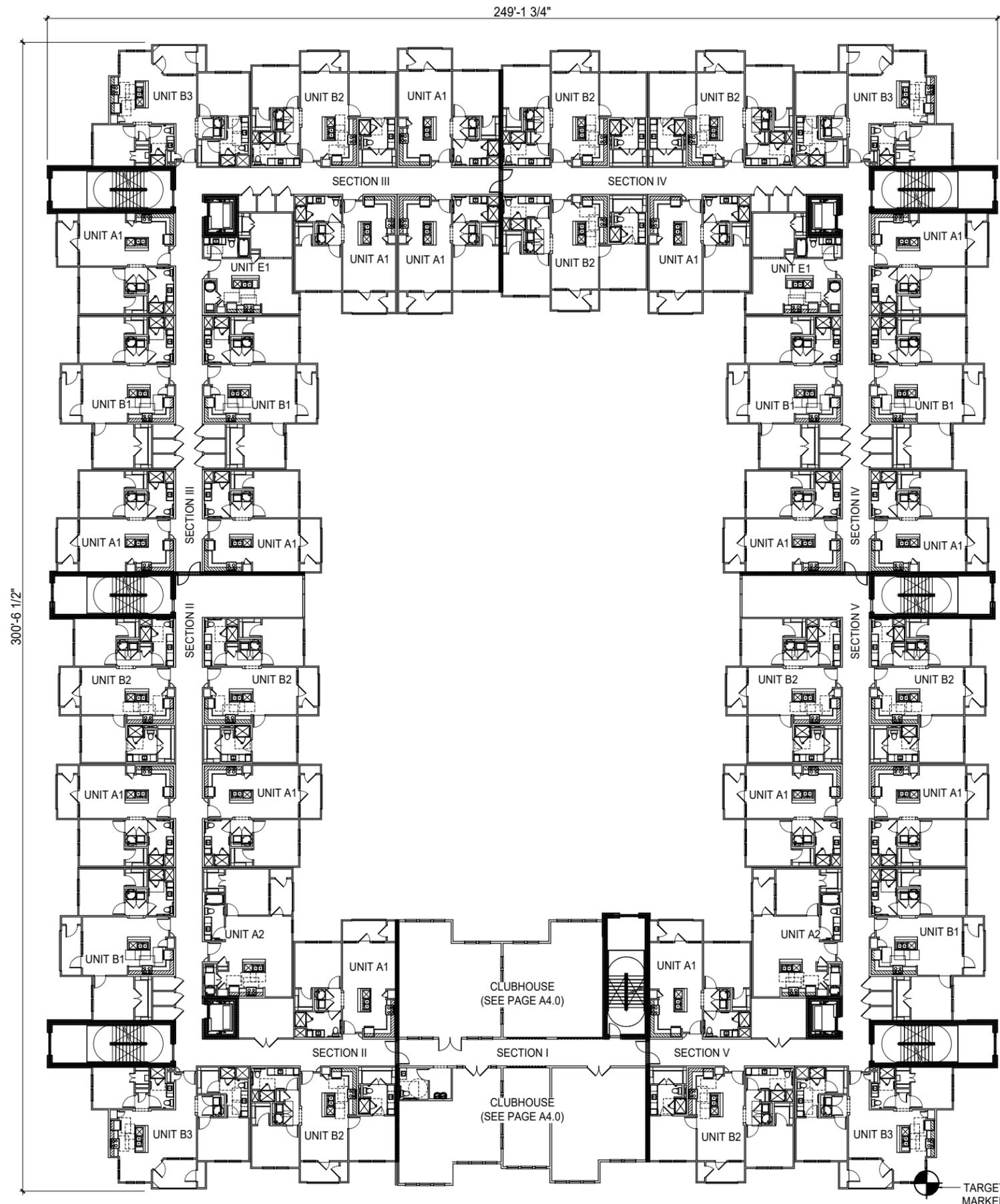
SECOND FLOOR S.F. TOTALS
SECTION I - REFER TO A4.0

SECTION II	
-NET RENTABLE AREA	6,034 S.F.
-COMMON AREA	2,382 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	1,877 S.F.
-PRIVATE COVERED PATIO	536 S.F.
-PRIVATE OUTSIDE STORAGE	94 S.F.

SECTION III	
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-PRIVATE OUTSIDE STORAGE	106 S.F.

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SECTION V	
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-PRIVATE COVERED PATIO	536 S.F.
-PRIVATE OUTSIDE STORAGE	94 S.F.



BUILDING TYPE 'A' - SECOND FLOOR PLAN

3/64"=1'-0"

THIRD FLOOR S.F. TOTALS

SECTION I

-NET RENTABLE AREA	2,046 S.F.
-COMMON AREA	757 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	757 S.F.
-PRIVATE COVERED PATIO	232 S.F.
-PRIVATE OUTSIDE STORAGE	42 S.F.

SECTION II

-NET RENTABLE AREA	6,034 S.F.
-COMMON AREA	2,382 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	1,877 S.F.
-PRIVATE COVERED PATIO	536 S.F.
-PRIVATE OUTSIDE STORAGE	94 S.F.

SECTION III

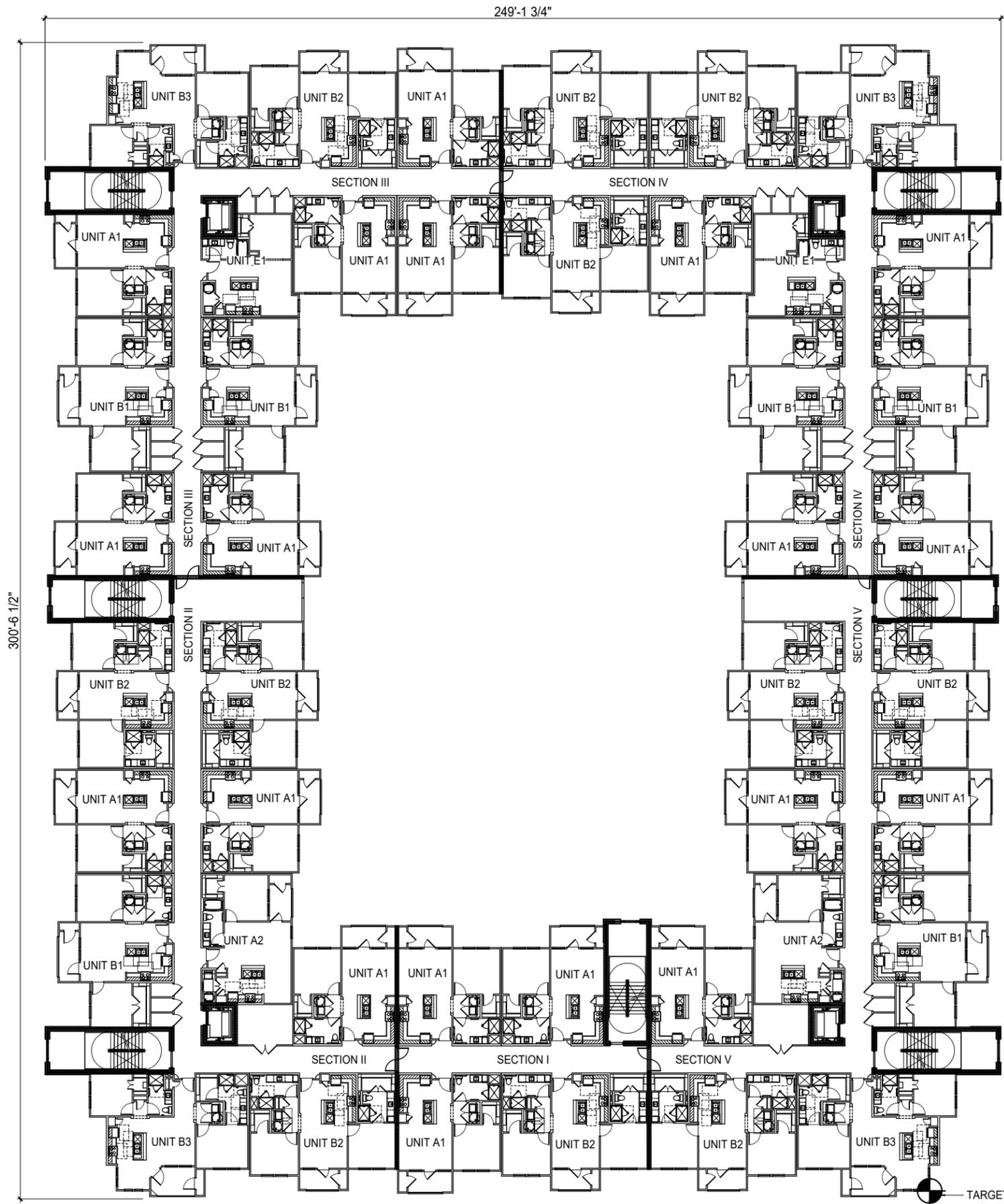
-NET RENTABLE AREA	8,479 S.F.
-COMMON AREA	1,791 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	1,601 S.F.
-PRIVATE COVERED PATIO	626 S.F.
-PRIVATE OUTSIDE STORAGE	106 S.F.

SECTION IV

-NET RENTABLE AREA	9,254 S.F.
-COMMON AREA	1,791 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	1,870 S.F.
-PRIVATE COVERED PATIO	610 S.F.
-PRIVATE OUTSIDE STORAGE	102 S.F.

SECTION V

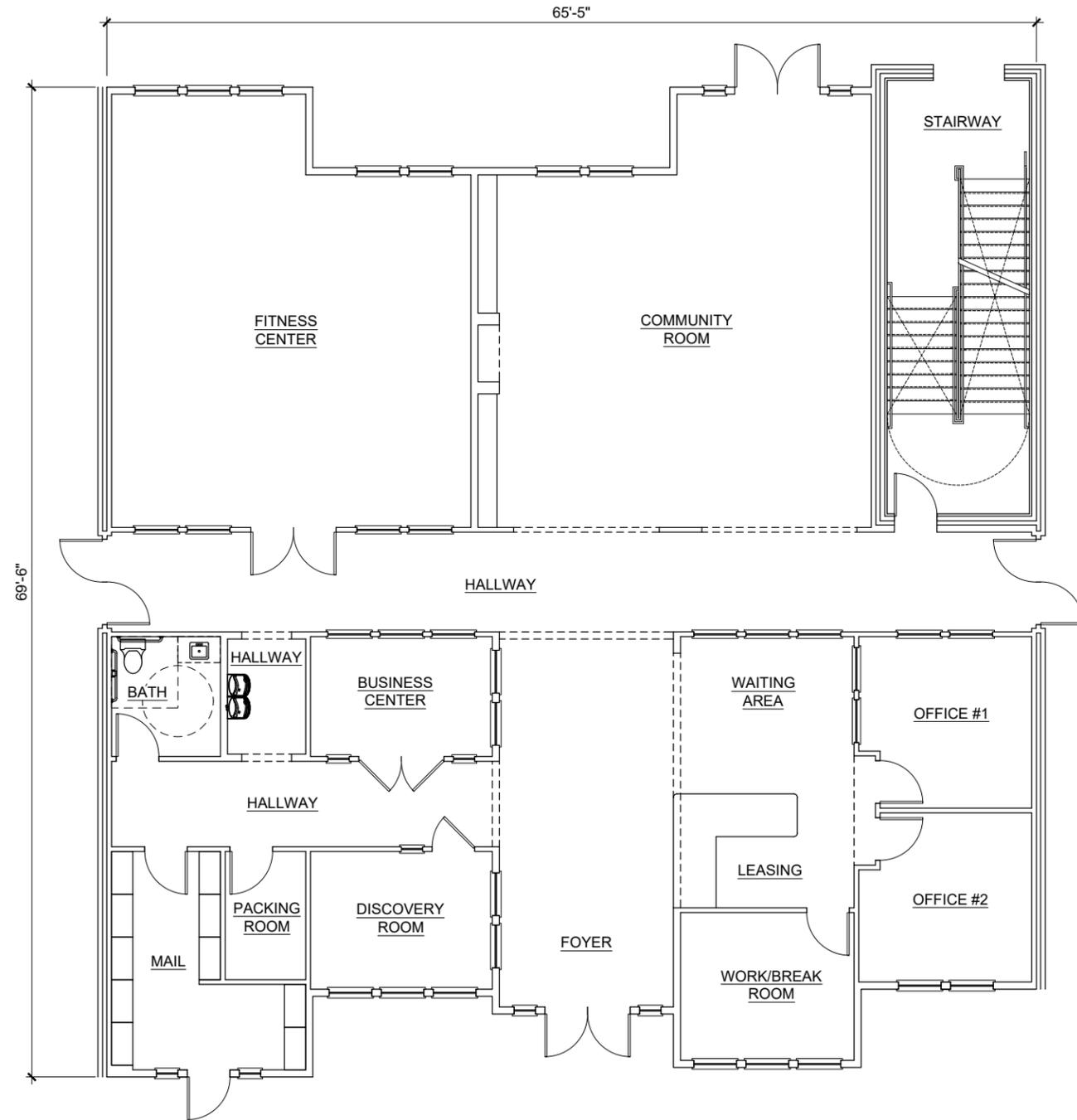
-NET RENTABLE AREA	6,034 S.F.
-COMMON AREA	2,382 S.F.
-STAIRWAYS, BREEZEWAYS, AND CORRIDORS	1,877 S.F.
-PRIVATE COVERED PATIO	536 S.F.
-PRIVATE OUTSIDE STORAGE	94 S.F.



BUILDING TYPE 'A' - THIRD FLOOR PLAN

3/64"=1'-0"

EMPLOYEE AND TENANT FLOOR AREA - FIRST FLOOR	
CONDITIONED SPACE S.F.	
EMPLOYEE ONLY S.F.	
OFFICE #1	140 S.F.
OFFICE #2	140 S.F.
PACKAGE ROOM	51 S.F.
WORK/ BREAK ROOM	126 S.F.
FIRST FLOOR EMPLOYEE ONLY S.F.	457 S.F.
TENANT ACCESS S.F.	
COMMUNITY ROOM	762 S.F.
FITNESS CENTER	703 S.F.
HALLWAY	660 S.F.
FOYER	322 S.F.
STAIRWAY	301 S.F.
BUSINESS CENTER	107 S.F.
DISCOVERY ROOM	132 S.F.
WAITING AREA	139 S.F.
LEASING	101 S.F.
BATH	64 S.F.
FIRST FLOOR TENANT ACCESS S.F.	3,291 S.F.
FIRST FLOOR CLUB SPACE S.F.	3,748 S.F.
FIRST FLOOR COMMON AREA	3,571 S.F.



CLUBHOUSE - FIRST FLOOR PLAN

1/8"=1'-0"

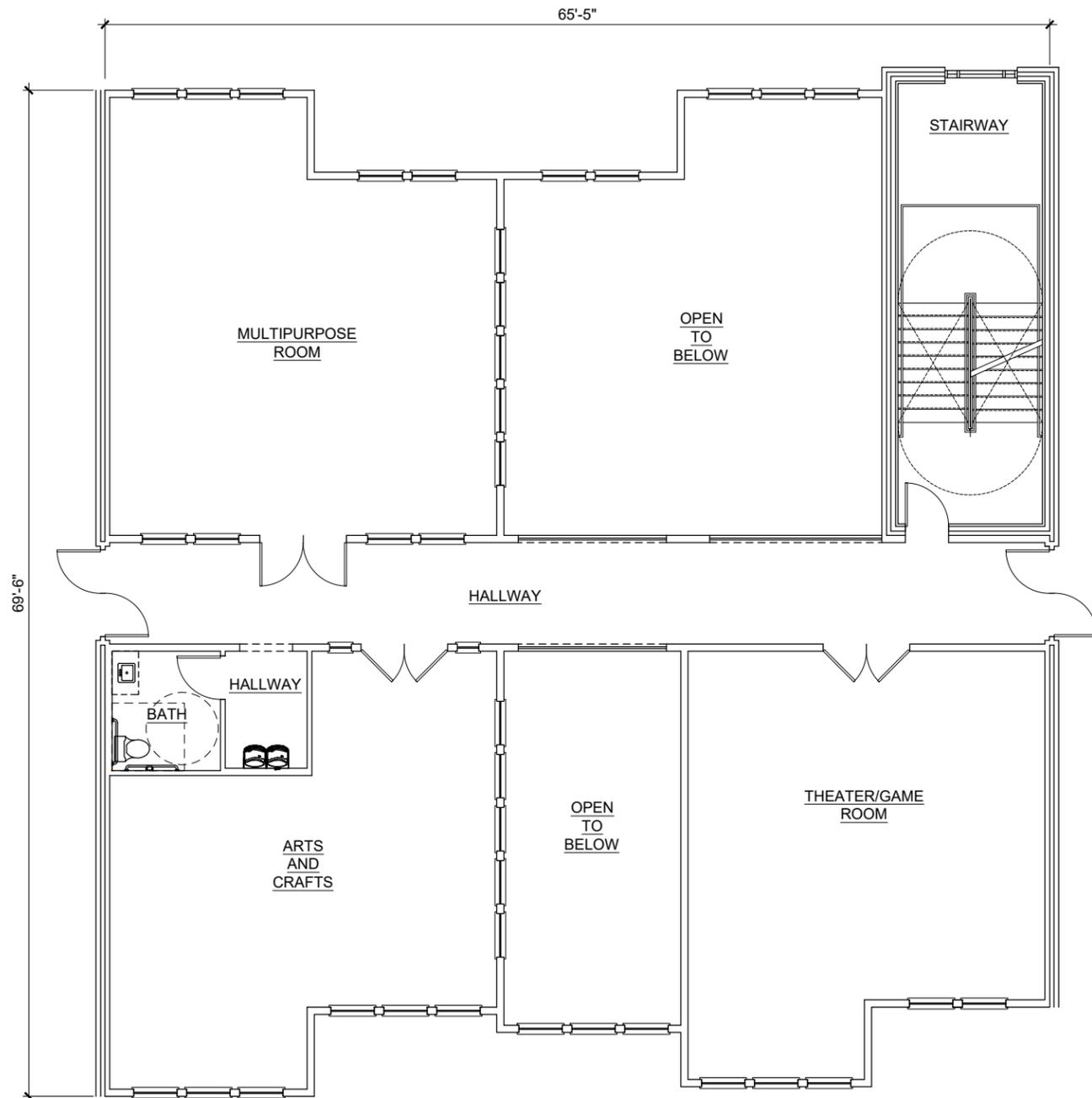
EMPLOYEE AND TENANT FLOOR AREA - SECOND FLOOR
CONDITIONED SPACE S.F.
EMPLOYEE ONLY S.F. - N/A

SECOND FLOOR EMPLOYEE ONLY S.F. - N/A

TENANT ACCESS S.F.
MULTI-PURPOSE ROOM 703 S.F.
THEATRE 662 S.F.
HALLWAY 498 S.F.
STAIRWAY 301 S.F.
BATH 64 S.F.

SECOND FLOOR TENANT ACCESS S.F. 2,228 S.F.
SECOND FLOOR CLUB SPACE S.F. 2,228 S.F.
OPEN BELOW 1,078 S.F.

SECOND FLOOR COMMON AREA 2,228 S.F.



CLUBHOUSE - SECOND FLOOR PLAN

1/8"=1'-0"

A4.1

CLUBHOUSE
FLOOR PLAN

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**Zone Change/Planned District
Amendment/Site Plan Approval**

Project Number: 2-20-0172
Case Number: _____

Applicant (if acting as Agent, see affidavit on page 2) Printed Name: _____		Phone () _____ Email _____	
Address _____	City _____	State _____	Zip _____

Property Owner Printed Name: <u>Kestrel Construction, LLC</u>		Phone () _____ Email _____	
Address <u>PO Box 50655</u>	City <u>Midland</u>	State <u>TX</u>	Zip <u>79710</u>

Representative (if different from Applicant or Property Owner) Firm: <u>Maverick Engineering</u> Printed Name: <u>Andrew L. Mellen, PE</u>		Phone (432) <u>262-0999</u> Email _____ <u>amellen@maverick-eng.com</u>	
Address <u>1909 W. Wall St. Suite K</u>	City <u>Midland</u>	State <u>TX</u>	Zip <u>79701</u>

Street Address: 205 Corporate Drive

Legal Description
Lot: 2A Block: 1 Subdivision: Corporate Plaza Section 20

Current Zoning: PD **Proposed Zone:** PDHD
(List by tracts if more than one district is requested)

Reason for Zone Change Request: Advance the proposed project of a multi-family housing development.

Present Use of Property: Vacant

Proposed Use of Property: Multifamily housing

How would this zone change affect the public health, safety and welfare? Will bring a much needed increase in the supply of and contribute to the overall leased/rent housing market in Midland

Describe how conditions affecting the property have changed since present zoning designation: None known.

- Submittal and Fees**
Items to be submitted with this application form:
- Application Fee – Payable to the 'City of Midland'
 - Dimensioned Site Plan
 - Digital Copies of Site Plan (PDF/JPEG)

Signature (by property owner only - authorized agent must sign affidavit below)

Applicant (signature): Andrew L. Mellen Date: 2/25/20

Applicant (printed): Andrew Mellen

Property Owner (signature): Kirk E. Smith Date: 2.25.20

Property Owner (printed): KIRK E. SMITH

The Zone Change/Planned District Amendment/Site Plan Approval shall be considered officially received in the Planning office only when it has been submitted in full compliance with the provisions of Section 212 of the Texas Local Government Code and the Zoning Code of Ordinances of the City of Midland and when such required items for the application are also received.

All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.

If an agent is authorized by the property owner to file and execute the application on behalf of the property owner, the agent must complete the affidavit below.

STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, on this day personally appeared Andrew L. Mellen who, being by me duly sworn, upon oath says: That (s)he is authorized by Kestrel Construction, LLC, the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Andrew L. Mellen
Authorized Agent (signature)

Subscribed and sworn to before me, this 26th day of February, 2020, to certify which witness my hand and seal of office.

Kelsey Ann Stine
NOTARY PUBLIC, MIDLAND COUNTY, TEXAS



FOR OFFICE USE ONLY

Property Owner Authorization Dimensioned Site Plan

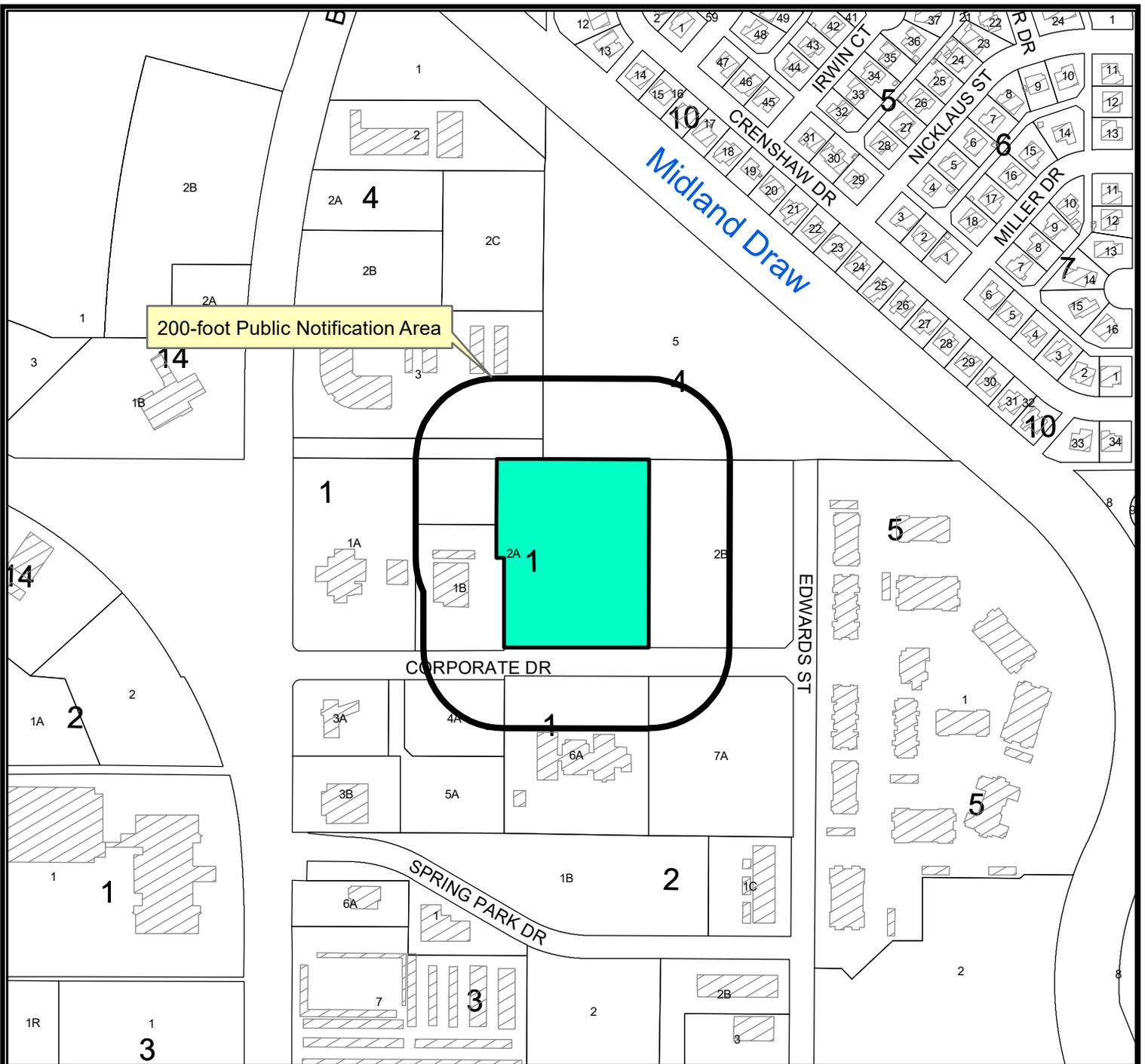
Application Fee Plans in Digital Format (PDF/JPEG)

Check # 3127

Received By: _____ Date: _____

RECEIVED
FEB 26 2020
BY: JM

****Application will not be considered for scheduling until reviewed by a planner.****



LOCATION MAP

Z-20-0172

Scale: 1" = 200'

Consider a request by Maverick Engineering for a zone change from a PD, Planned District for an Office Center to PD, Planned Development District for a Housing Development on Lot 2A, Block 1, Corporate Plaza, Section 20, City and County of Midland, Texas.

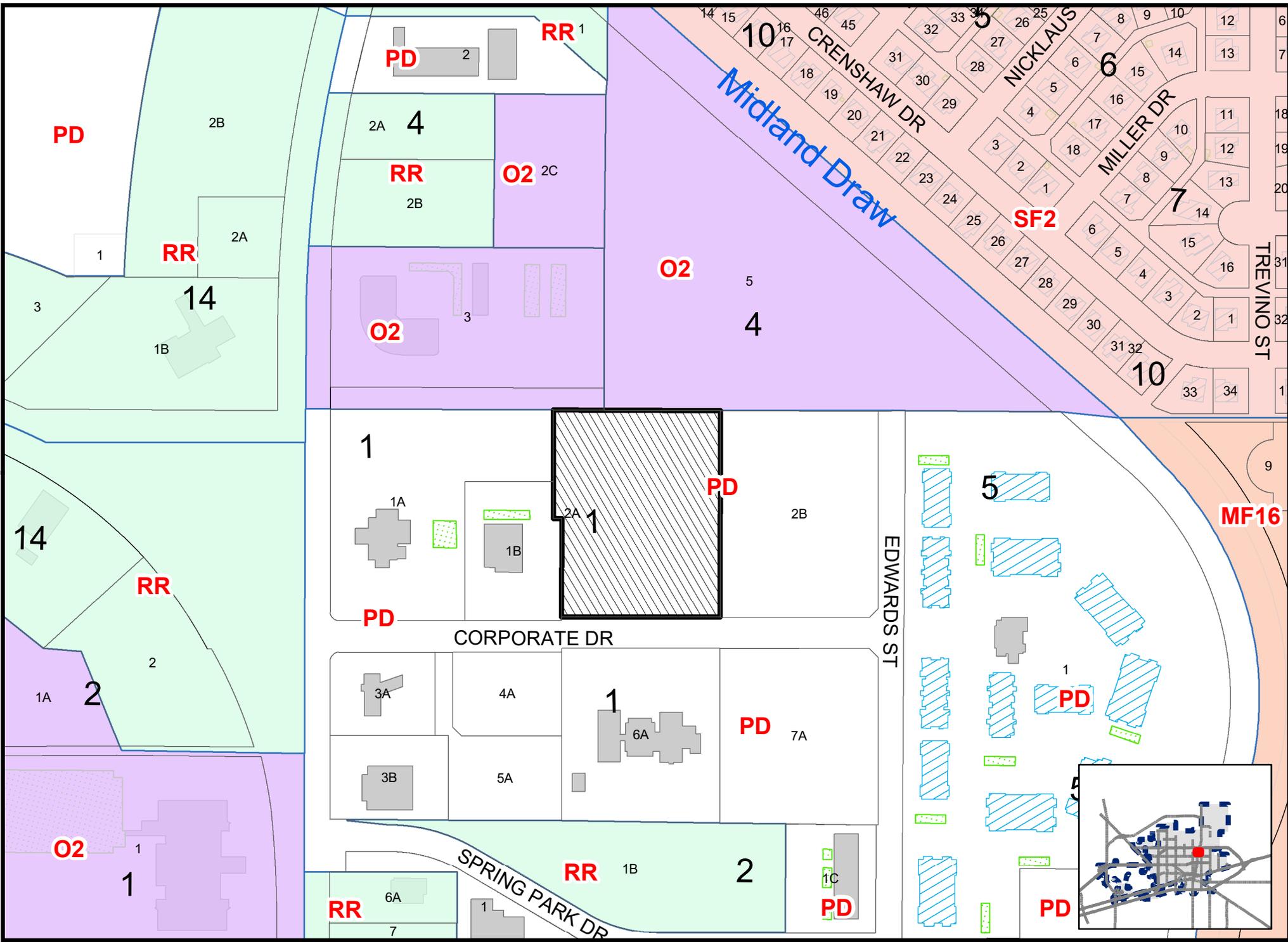
Generally located on the north side of Corporate Drive, approximately 550-feet east of North Big Spring. (Council District 2)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



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 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



ORDINANCE NO. 8007

AN ORDINANCE AMENDING CHAPTER ONE, TITLE XI, OF THE CITY CODE OF MIDLAND, TEXAS, BY PERMITTING THE PROPERTY DESCRIBED IN SECTION ONE HEREOF, WHICH IS PRESENTLY ZONED PD, PLANNED DISTRICT FOR AN OFFICE CENTER, TO BE USED AS AN AMENDED PLANNED DISTRICT FOR AN OFFICE CENTER; PROVIDING FOR SUCH USE TO BE SUBJECT TO CERTAIN SPECIAL CONDITIONS AND RESTRICTIONS AS SET OUT HEREIN; PROVIDING THAT THE PROPERTY SHALL BE IMPROVED ACCORDING TO THE SITE PLAN, ORDINANCES, AND OTHER SPECIFICATIONS SET OUT AND REFERRED TO HEREIN; CONTAINING A CUMULATIVE CLAUSE AND EXPRESSLY REPEALING ORDINANCE NO. 5784; CONTAINING A SAVINGS AND SEVERABILITY CLAUSE; PROVIDING FOR A MAXIMUM PENALTY OR FINE OF TWO THOUSAND DOLLARS (\$2,000.00); AND ORDERING PUBLICATION

WHEREAS, the City Planning and Zoning Commission and the Governing Body of the City of Midland, in compliance with the City Charter and the State law with reference to the creation of "Planned Districts" under the zoning ordinance regulations and zoning map, have given the requisite notices by United States mail, publication and otherwise; and after a full and fair hearing to all of the property owners generally and particularly to those interested persons situated in the affected area and in the vicinity thereof, the Governing Body finds that the public health, safety and general welfare will be best served by the creation of the "Planned District" set out hereinafter and subject to the conditions and restrictions set out hereinafter;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF MIDLAND, TEXAS:

SECTION ONE. That Chapter 1, Title XI, of the City Code of Midland, Texas, and the official zoning map of the City of

Midland, Texas, are hereby amended insofar as the hereinafter described property is concerned, which is presently zoned PD, Planned District for an Office Center, and it shall be used as an Amended Planned District for an Office Center, subject to the special conditions and restrictions hereinafter set out, said property being described as follows:

Lots 1 through 5, Block 1, Corporate Plaza, City and County of Midland, Texas.

SECTION TWO. That said property shall be subject to the following conditions and restrictions:

- A. That Lots 1 and 3 shall be subject to the regulations of the O-2, Office District, except that the maximum building height shall be 80 feet;
- B. That Lots 2, 4 and 5 shall be subject to the regulations of the O-1, Office District, except that the maximum building height shall be 40 feet;
- C. That Lot 1 may also be permitted to be developed with a funeral home in accordance with Exhibit A, in all respects; and, that following initial development, any building expansion into the indicated "Future Expansion Area" must substantially conform to the building materials and architectural design of the initial construction.
- D. That Ordinance Number 5784 shall be repealed.

SECTION THREE. That the definitions given in the zoning regulations contained in the City Code of the City of Midland, Texas, shall be applicable to such of those terms as are used herein.

SECTION FOUR. The provisions of this ordinance are to be cumulative of all other ordinances or parts of ordinances governing or regulating the same subject matter as that covered herein; provided, however, that all prior ordinances or parts of ordinances inconsistent with or in conflict with

any of the provisions of this ordinance are hereby expressly repealed to the extent of any such inconsistency or conflict, and Ordinance No. 5784 is hereby expressly repealed.

SECTION FIVE. If any section, subsection, sentence, clause or phrase of this ordinance is, for any reason, held to be unconstitutional or invalid, such holding shall not affect the validity of the remaining portions of this ordinance. The Council of the City of Midland hereby declares that it would have passed this ordinance and each section, subsection, sentence, clause, or phrase hereof irrespective of the fact that any one or more sections, subsections, sentences, clauses, or phrases be declared unconstitutional or invalid.

SECTION SIX. The penalty for violation of this ordinance shall be in accordance with the general penalty provisions contained in Section 1-3-1 of the City Code of Midland, Texas, which provides for a fine not exceeding two thousand dollars (\$2,000.00).

SECTION SEVEN. The City Secretary is hereby authorized and directed to publish the descriptive caption of this ordinance in the manner and for the length of time prescribed by the law as an alternative method of publication.

The above and foregoing ordinance was duly proposed, read in full and adopted on first reading, the 27th day of February, A.D., 2001; and passed to second reading on motion of Council member Wood, seconded by Council member Bradford, by the following vote:

Council members voting "AYE": Wood, Bradford, Morgan,
Dingus, Burns and
Simpson

Council members "ABSTAINING": Canon

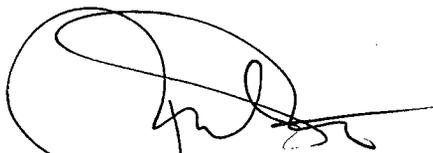
Council members voting "NAY": None

The above and foregoing ordinance was read in full and finally adopted by the following vote upon motion of Council member Wood, seconded by Council member Bradford, on the 20th day of March, A.D., 2001, at a regular meeting of the City Council:

Council members voting "AYE": Wood, Bradford, Morgan,
Dingus, Burns, Simpson
and Canon

Council members voting "NAY": None

PASSED AND APPROVED THIS 20th day of March,
A.D., 2001.



Robt. E. Burns, Mayor

ATTEST:

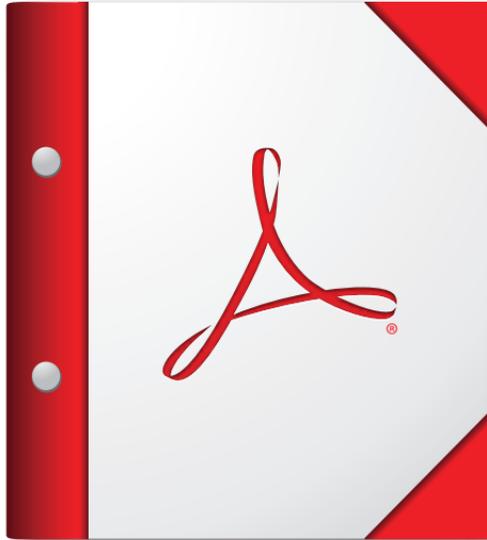


Kaylah J. McCord, City Secretary

APPROVED AS TO FORM:



Keith Stretcher, City Attorney



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The
Springboard
Center 200





Planning and Zoning Commission

Approved for
Agenda:

MEETING DATE: April 20, 2020

TO: PLANNING AND ZONING COMMISSION

FROM: Eric Myers, Planner

SUBJECT: Hold a public hearing and consider a request by Jose Ramos for a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 12, Block 30, Moody Addition, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of S. Carver Street and E. Wall Street. Council District 2)

Recommended Planning and Zoning Commission Action:

Approve Deny Direction/Informational

Details of Request:

The applicant, Jose Ramos, is requesting a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 12, Block 30, Moody Addition, City and County of Midland, Texas.

Current Zoning:

MF-22, Multiple-Family Dwelling District.

Surrounding Zoning and Land Use:

The properties to the north, south, and west are zoned MF-22, Multiple-Family Dwelling District, and are the locations of Carver Elementary, a vacant lot, and a residence, respectively. The property to the east is zoned SF-3, Single Family Dwelling District, and is the location of a residence.

Analysis:

The property is located at 101 S. Carver Street and is currently vacant. The applicant is proposing to build a home at this location.

Per the previous zoning ordinance, single-family detached dwellings were allowed in this zoning district. As of July 1, 2019, the new zoning ordinance does not allow the use of single-family detached dwellings within MF-22, Multiple-Family Dwelling District.

The planning department has researched the surrounding neighborhood and based on the existing characteristics of the area, the zone change request to allow for a single-family detached dwelling would be appropriate.

The dimensions of the property are approximately 50 feet by 140 feet and would not meet the dimensional regulations of corner lots in the SF-3, Single Family Dwelling District. However, per the Zoning Ordinance section 4.08.D, "Any existing vacant lot platted prior to the zoning ordinance effective date that was legally conforming shall be deemed a conforming lot." The property was platted prior to the effective date of the zoning ordinance; therefore, the lot would be suitable for the development of a home.

This proposed zone change has been circulated to and reviewed by respective City departments and their comments, conditions, and requirements are as follows:

Fire: (Approved)

No objections.

Building: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2017 NEC requirements, the 2015 International Fire Codes, local city ordinances, zoning requirements, established setbacks, and floodplain requirements if necessary.

Engineering: (Approved)

No objection to zone change.

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

Our staff has examined the FEMA flood map and it appears that this property lies partially within Zone AE and Zone X Shaded, which is a Special Flood Hazard Area subject to inundation by the 1% and 0.2% annual chance flood.

An elevation certificate based off of construction drawings will be required to get a building permit to show compliance to the 1 foot of freeboard above the base flood elevation for residential structures. An elevation certificate based off of finish construction will be required for the Certificate of Occupancy.

Code: (Approved)

No Oil or Gas wells identified within 500 ft. permitted well radius or in the 135 ft. non-permitted well radius of location on plat.

Transportation: (Approved)

Site drainage, utilities, driveway access, and traffic circulation may be adjusted during construction drawing review as necessary to receive building permit approval from Engineering and Traffic Operations.

No objection to zone change.

Planning:

Per the Future Land Use map, this location is designated as Urban-Residential Low. Potential zoning for this area includes Single-Family Dwelling Districts; therefore, this zone change is in compliance with the Future Land Use plan. This request also supports the integrated Land Use Vision Development principal of supporting appropriate infill development, which the plan believes will support the economic value of Midland's existing neighborhoods and makes full use of the existing infrastructure. The Eastside Infill Area analysis states that vacant lots are considered opportunities for new investment in the area, while noting the success that has been seen in this area with past infill development. As the surrounding lots consist of vacant lots and residences, this zone change will follow the existing characteristics of the surrounding neighborhood and provide additional housing for residents of the City of Midland.

Staff recommends approval of the zone change from MF-22, Multiple-Family Dwelling District to SF-3, Single-Family Dwelling District, subject to condition A.

Conditions:

- A. That the use and development of this property shall conform to the regulations of the SF-3, Single-Family Dwelling District.**

Letters of Objection:

Staff has not received any letters of objection as of April 15, 2020.

Attachments:

Application
Maps



**Zone Change/Planned District
Amendment/Site Plan Approval**

Project Number: 2-20-0176
Case Number: _____

Applicant (if acting as Agent, see affidavit on page 2) Printed Name: <u>Jose Ramos</u>		Phone (432) <u>634-7417</u>	
Address: <u>35 E. Oak</u>		Email: <u>Jose Ramos @ yahoo.com</u>	
City: <u>Midland</u>	State: <u>TX</u>	Zip: <u>79705</u>	

Property Owner Printed Name: <u>Jose Ramos</u>		Phone (432) <u>634-7417</u>	
Address: _____		Email: <u>Jose Ramos @ yahoo.com</u>	
City: <u>Midland</u>	State: <u>TX</u>	Zip: <u>79705</u>	

Representative (if different from Applicant or Property Owner) Firm: _____ Printed Name: _____		Phone () _____	
Address: _____		Email: _____	
City: _____	State: _____	Zip: _____	

Street Address: 101 S. Carver Midland TX 79705

Legal Description
Lot: 12 Block: 30 Subdivision: Moody

Current Zoning: <u>RMF22</u>	Proposed Zone: (List by tracts if more than one district is requested)
-------------------------------------	--

Reason for Zone Change Request: single family build

Present Use of Property: Vacant

Proposed Use of Property: Single Family Home

How would this zone change affect the public health, safety and welfare? NO

Describe how conditions affecting the property have changed since present zoning designation: Vacant

- Submittal and Fees**
Items to be submitted with this application form:
- Application Fee – Payable to the 'City of Midland'
 - Dimensioned Site Plan
 - Digital Copies of Site Plan (PDF/JPEG)

Signature (by property owner only – authorized agent must sign affidavit below)

Applicant (signature): Jose Ramos Date: 3-16-20

Applicant (printed):

Property Owner (signature): Jose Ramos Date: 3-16-20

Property Owner (printed) : Jose Ramos

The Zone Change/Planned District Amendment/Site Plan Approval shall be considered officially received in the Planning office only when it has been submitted in full compliance with the provisions of Section 212 of the Texas Local Government Code and the Zoning Code of Ordinances of the City of Midland and when such required items for the application are also received.

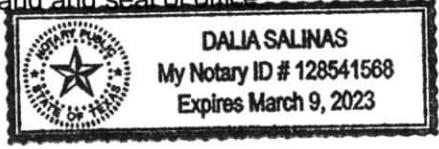
All materials, including exhibits, submitted in support of an application, or displayed during a public hearing, shall remain the property of the City of Midland.

STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, on this day personally appear Jose A. Ramos who, being by me duly sworn, upon oath says: That (s)he is the owner of 101 S. Carver or authorized by _____, the owner of the above described property, to fully represent him/her in this application and that (s)he had the legal right, power and authority to sign said owner's name hereto as his/her attorney in fact.

Jose Ramos
Authorized Agent (signature)

Subscribed and sworn to before me, this 16 day of March, 2020, to certify which witness my hand and seal of office



Dalia Salinas
NOTARY PUBLIC, MIDLAND COUNTY, TEXAS

FOR OFFICE USE ONLY

- Property Owner Authorization
- Application Fee
- Dimensioned Site Plan
- Plans in Digital Format (PDF/JPEG)

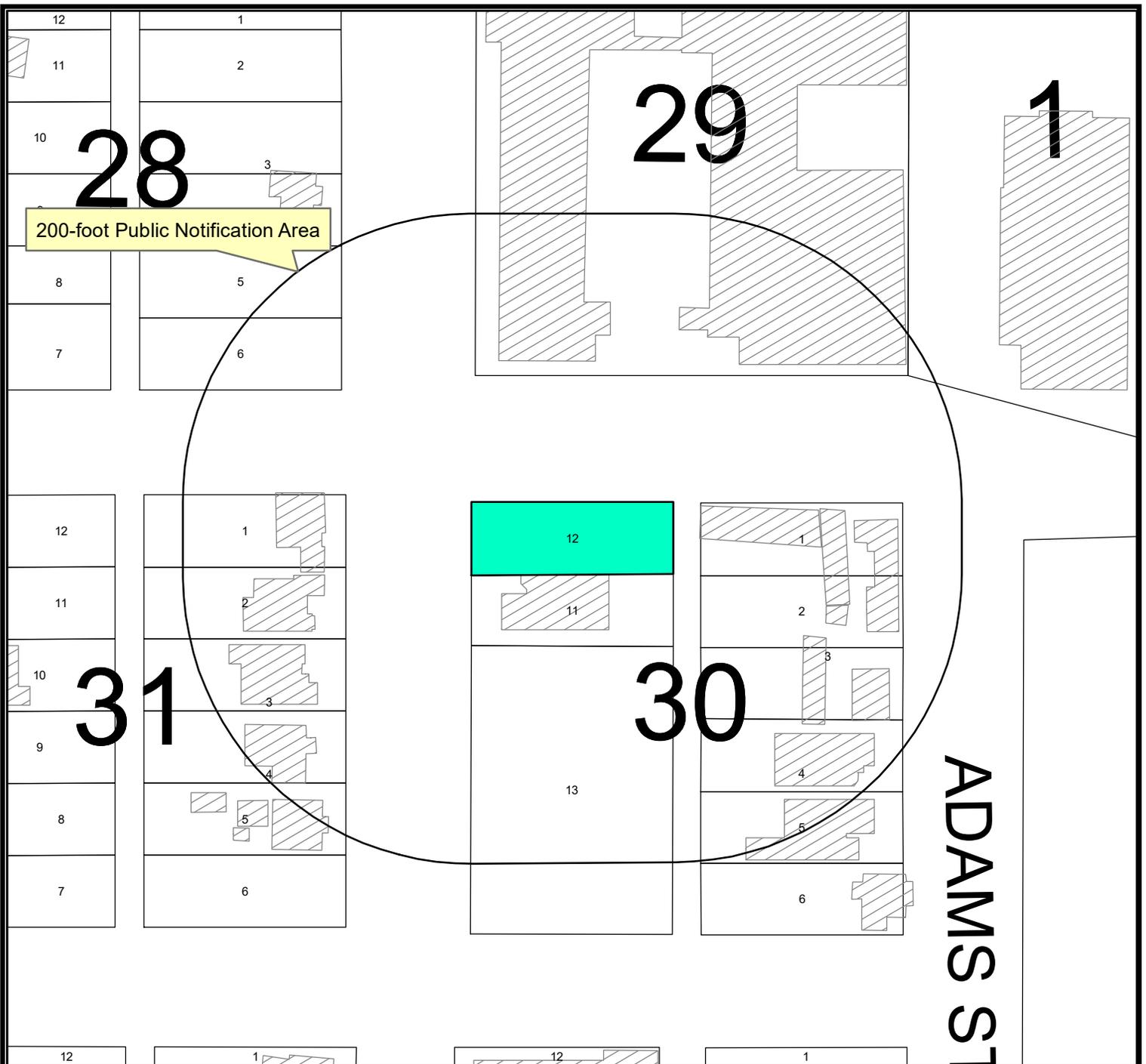
Check # _____

Received By: Jm

RECEIVED
MAR 19 2020

Date: _____
BY: Jm

****Application will not be considered for scheduling until reviewed by a planner.****



LOCATION MAP

Z-20-0176

Scale: 1" = 100'

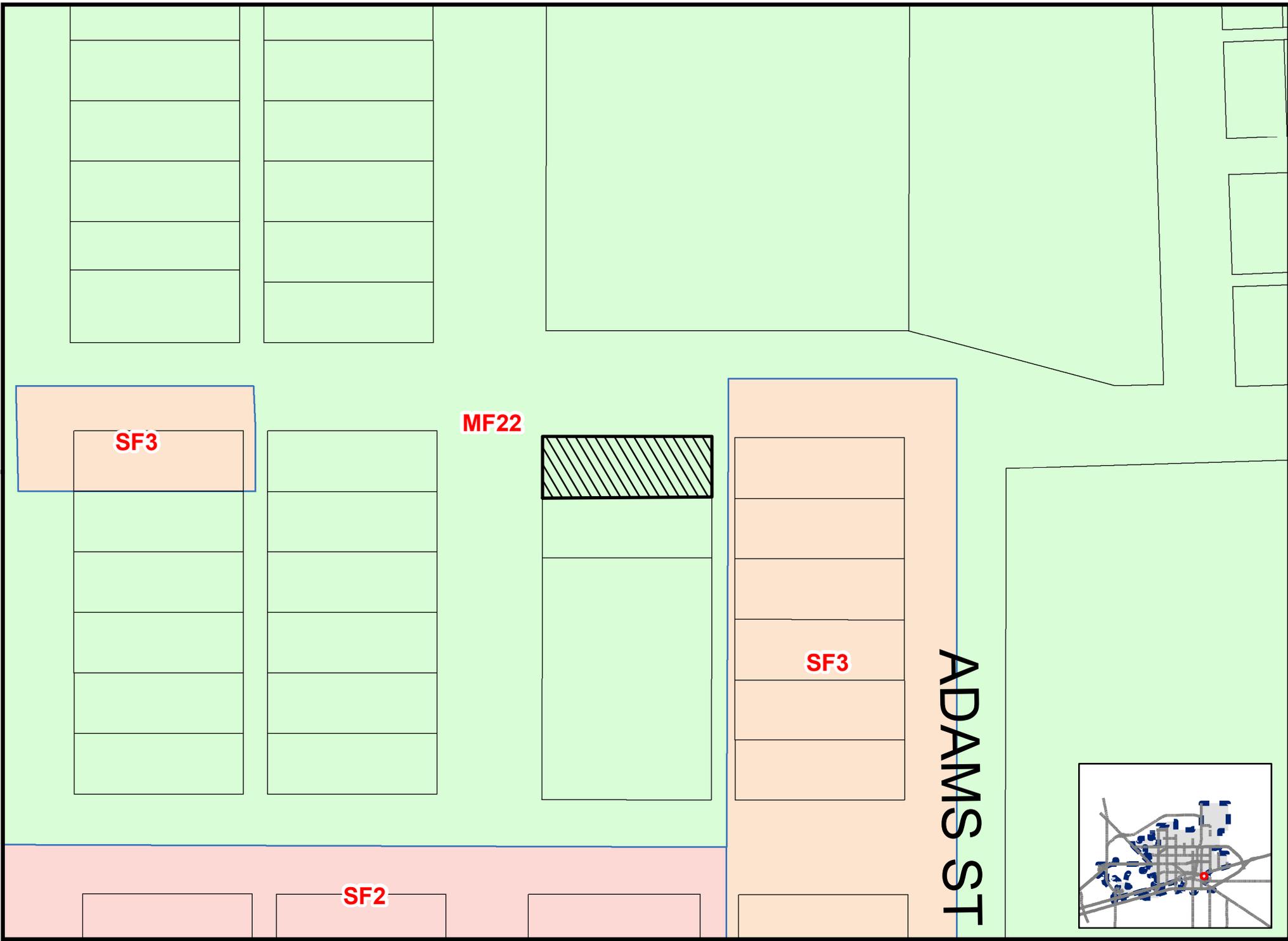
Consider a request by Jose Ramos for a Zone Change from MF-22, Multiple-Family Dwelling District, to SF-3, Single Family Dwelling District, on Lot 12, Block 30, Moody Addition, City and County of Midland, Texas. Generally located on the southeast corner of the intersection of S. Carver Street and E. Wall Street. (Council District 2)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



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E WALL
1st St





SPEED
LIMIT
30

2214



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TEXAS
GY-3807

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